

City of Brisbane

Planning Commission Agenda Report

TO: Planning Commission

For the Meeting of 9/22/16

FROM: Ken Johnson Senior Planner, via  John A. Swiecki Community Development Director

SUBJECT: **88 Thomas Avenue;** Design Permit DP-2-15, Grading Permit EX-4-15 and Secondary Dwelling Unit Permit SDU-2-15 for an approximately 4,008 square foot Single Family Home, and conversion of an existing single family home to a 998 square foot Secondary Dwelling Unit with associated grading of approximately 1,100 cubic yards on a Ridgeline Lot within the R-BA Brisbane Acres Zoning District; Wing Lee, applicant; Gladys Chan, owner; APN 007-350-310

Request: The applicant proposes to build a 4,008 square foot (sq ft) single family residence and to convert the existing single family home to a 998 sq ft secondary dwelling unit at 88 Thomas Ave. The site is located on a 20,841 sq ft ridgeline lot on the south side of Thomas Avenue and is within the R-BA Brisbane Acres Residential zoning district. The redevelopment of this lot would include approximately 1,100 cubic yards of grading. Planning Commission review of a design permit is required for development on a ridgeline lot in the Brisbane Acres and for grading of over 250 cubic yards.

The proposed single family residence would include approximately 3,595 sq ft of living space in two stories, plus a 413 sq ft, 2 car, attached garage on the ground floor. The 998 sq ft secondary dwelling unit would be in a single story, separate structure. The secondary dwelling unit would be reduced from its current size of 1,627 sq ft, with its height reduced by approximately 1.75 ft, as compared to the current roof ridge. Both the proposed new single family residence and the converted secondary dwelling unit would meet all applicable district development regulations, including but not limited to setbacks, floor area, lot coverage and height.

A proposal of the same basic design as this current proposal was approved by the Planning Commission in 2009 and again in 2011. At that time, the Planning Commission approved the project with the adoption of a mitigated negative declaration and variance via resolution V-2-09. The variance expired and a second variance V-5-11 was approved later in 2011. The second variance expired in 2014 and subsequent to the variance approval, ordinance provisions were adopted requiring a design permit for ridgeline lots in the Brisbane Acres R-BA district. Therefore, the proposal is now to be considered by the Commission under the design permit provisions rather than the previously applicable variance provisions.

Recommendation: Conditionally approve Design Permit DP-2-15, Grading Permit EX-4-15 and Secondary Dwelling Unit Permit SDU-2-15, per the staff memorandum with attachments, via adoption of Resolution DP-2-15/EX-4-15/SDU-2-15 with Exhibit A containing the findings and conditions of approval.

Environmental Determination: The Brisbane Acres is within the San Bruno Mountain Habitat Conservation Plan (HCP) area and new construction within the Brisbane Acres is subject to environmental review under the California Environmental Quality Act (CEQA). A mitigated negative declaration (State Clearinghouse No 2009082060) was approved by the Planning Commission on December 10, 2009 for redevelopment of the site with the same basic design. The mitigated negative declaration concluded that all environmental impacts will be less than significant or will be reduced to less than significant levels by mitigation measures. The current proposal is substantially the same and would not involve new significant environmental effects, nor substantially increase the severity of previously identified effects consistent with State CEQA Guidelines Section 15162(a).

The proposed development was found to comply with the terms of the San Bruno Mountain Habitat Conservation Plan Agreement and Section 10(a), given the draft Operating Program. That Operating Program included a requirement for a 20 ft habitat corridor and control of invasive species, among other requirements. The Operating Program became effective for this site with the Planning Commission's approval of the project in 2009 and remains in effect.

To help confirm consistency with CEQA Guidelines Section 15162(a), since approximately seven years had passed since the previous biological study was completed, the City engaged MIG/TRA Environmental Services, Inc. to conduct another biological study this last spring, which reaffirmed the previous study results. A courtesy project status letter along with the study report was transmitted to San Mateo County Parks Division, United States Fish and Wildlife Service and California Dept. of Fish and Game and no issues of concern have been raised by these agencies.

Applicable Code Sections: Brisbane Municipal Code Section 17.12.040.L requires a Design Permit for Ridgeline Lots in the Brisbane Acres. The findings required for the approval of Design Permits are contained in BMC Sections 17.12.040.L.2 and 17.42.040.

Brisbane Municipal Code Sections 15.01.081 and 17.32.220 require, in addition to approval by the City Engineer, Planning Commission approval for projects involving grading of over 250 cubic yards of material.

Approval of a secondary dwelling unit permit is an administrative permit, subject to Planning Director approval based on the determination that the development standards can be met per BMC Section 17.43.030. Since the secondary dwelling unit is tied overall site design, that permit is included herein. Assuming approval of the design permit the secondary dwelling unit permit would be perfected through the recording of a secondary dwelling unit agreement and the building permit application.

Analysis and Findings: In order to approve a Design Permit, the Planning Commission must make the findings required by Brisbane Municipal Code Sections 17.12.040.L.2 and 17.42.040.

There are eleven applicable design permit findings which this application must meet for approval. They are provided as an attachment along with the analysis/discussion for each.

There are currently no findings in the Municipal Code for the Commission's approval of the grading permit as required by BMC Sections 15.01.081 and 17.32.220. In brief, the intent of the Planning Commission's review of grading is to address aesthetic issues which may arise, while the technical aspects of grading are addressed by the City Engineer through the grading permit, which will be required in conjunction with the building permit, prior to undertaking the proposed site work.

Design Permit Analysis and Findings:

Since this lot has been identified as being located on a ridgeline within the Brisbane Acres it is subject to a design permit. Other Brisbane Acres sites that may be proposed for development of a single family residence and single family residences within the Central Brisbane residential zoning districts are not subject to design permit requirements.

The following information is provided by way of background on the site setting. The border of the Brisbane Acres R-BA residential zoning district and the Central Brisbane R-3 residential zoning district runs along Thomas Avenue and four, multi-unit apartment buildings are located across the street, in the R-3 district. These buildings are oriented lengthwise along Thomas Avenue and form a partial backdrop to the site when viewed from the Bay Trail, east of the site. Thomas Avenue runs along, or very close, to the ridgeline and a ridgeline saddle is located at the base of Thomas Avenue where San Bruno Avenue crosses over the ridge. The site is adjacent to 8 Thomas Avenue, on its southern border, for which a single family home is under construction, following the City's approval of a ridgeline design permit in 2014. To the south and east is vacant land. The site has a number of large trees and shrubs, which, along with trees behind the site and the apartment buildings behind, limit views across this area of the ridgeline. The existing single family home on the subject site is located in the upper portion of the site and is reportedly 1,627 sq ft in floor area.

While this design review is due to the lot's location on a designated ridgeline lot the applicant is also subject to all required design permit findings. The findings related to ridgeline and hillside development are generally discussed in the body of the report along with those relating to the scale, form, proportion, landscaping and energy. For a complete list of the findings, see the attached draft resolution, provided as Attachment A. Also, see the additional discussion on the complete list of design permit findings in Attachment G.

Ridgeline & Hillside Development: The proposed development is on a lot that has been identified in the ordinance as a ridgeline lot. However, since the proposed home is set down from the ridgeline onto the flank of the hillside, the following discussion takes into account both the ridgeline finding as well as the hillside development finding. The ridgeline finding, BMC Section 17.12.040.L.2, provides that, "*The planning commission shall find that the building's placement, height, bulk and landscaping will preserve those public views of the San Bruno Mountain State and County Park as seen from the community park and from the Bay Trail along the Brisbane Lagoon and Sierra Point shorelines that are found to be of community-wide value.*"

The hillside finding, BMC Section 17.42.040, provides that, "...the proposal respects the topography of the site and is designed to minimize its visual impact. Significant public views of San Francisco Bay, the Brisbane Lagoon and San Bruno Mountain State and County Park are preserved."

The ridgeline finding focuses on views across a ridgeline to the State and County Park behind, while the hillside finding addresses how a development fits with the topography of the site. The proposal meets both of these findings. The various trees located on the site make it difficult to see the existing home from off-site locations, including the Bay Trail, and that vegetation, along with the existing apartment buildings behind, largely already occludes views across this segment of the ridgeline.

The new single family home would be 2 stories on the north side of the lot, in front of the secondary dwelling unit as viewed from the Bay Trail, and it would step down to 1 story on the south side closest to 8 Thomas Avenue. This configuration fits well with the slopes of the lot, which run both front to rear and across the width. As the maximum height is defined in the municipal code, 5 feet from the downslope edge of the building, the structure would be approximately 27.5 ft at its highest. The maximum allowable building height in the Brisbane Acres is 35 ft, so this application would place the building approximately 7.5 ft below that allowed maximum and approximately 17.5 feet below the maximum for the 1 story portion of the home, with a height of 17.5 to the parapet edge on that single-story segment. At its highest segment the single family residence would be approximately 12.3 ft in elevation lower than then the secondary dwelling unit, or approximately 14 ft. below the roof ridge on the existing home.

The existing single family home is located toward the top and front of the lot and it would be modified to reduce its height and floor area, in its conversion to a secondary dwelling unit, to match the design of the new single family home. The roofline ridge of that unit would be lowered in elevation by approximately 1.75 feet.

Both the single family home and the secondary dwelling unit would fit well with the topography of the site to minimize potential visual impacts, the new home being set in the lower area of the lot while maintaining the required 20 ft rear setbacks.

Information is provided for the Commission's review of public views through a couple different means. The applicant has included a number of drawings which depict the design, along with a photo-simulation. As required per the zoning ordinance, the applicant also installed story poles to represent the height and location of the single family home building corners. A story pole location map is provided in the drawing set. Following the applicant's placement of story poles, staff took a series of photographs at 300 ft intervals along the Bay Trail for reference. The photographs where the building would be most visible are provided in Attachment F. As has been discussed in previous cases, the photos are not intended to substitute for in the field personal observations. The photos with the lowest level of camera zoom (14 mm on a micro four-thirds format camera) are staff's estimation of the closest representation to real life scale, but these images do not simulate what is viewed by the naked eye. A photograph was also taken at each of these locations using a 150 mm lens to enable placement of the story poles within the field of view, but these are magnified and should only be used as an aid in locating the story poles. The realistic view can only be gained in person. In short, the field-of-view for the human

eye is substantially greater than the camera lens, so when one is on the Bay Trail a much wider view presents itself than is afforded by the photographs.

Given the long distances, the mix of existing development, vegetation and the relatively low profile of the proposed home on the lot, the view impacts to the State and County Park beyond the site would not be considered significant and the public views are substantially preserved or unaffected. Also, the proposed development would fit well with the topography to minimize its visual impacts.

Scale, form, proportion, landscaping and energy. A few other key findings are provided, per BMC Section 17.42.040, "The proposal's scale, form and proportion, are harmonious, and the materials and colors used complement the project" and "The site provides open areas and landscaping to complement the buildings and structures. Landscaping is also used to separate and screen service and storage areas, break up expanses of paved area and define areas for usability and privacy. Landscaping is generally water conserving and is appropriate to the location. Attention is given to habitat protection and wildland fire hazard as appropriate." Also, "The project design takes advantage of natural heating and cooling opportunities through building placement, landscaping and building design to the extent practicable, given site constraints, to promote sustainable development and to address long term affordability." The proposal meets all these findings.

The proposal has a strong modern design, in both its form and materials, set in a landscape that would be water conserving and complements the home's design, with extensive reliance on California native plants in the concept landscape plan, allowing for indoor/outdoor enjoyment of the space. The buildings' flat roofs and cantilevered first floor are strong elements in the overall modern aesthetic of both the new single family residence and the secondary dwelling unit, while at the same time the flat roof serves to reduce the mass of the structures and reduce view impacts, as viewed from off-site and as discussed in the previous group of findings. The clean lines of the wood-like panels and smooth stucco and cement composite panels complement the building forms and the expansive lightly tinted windows along the east side will afford passive solar warming of the interior of the house in the morning hours, for early heating of the house and then shading as the sun passes over to the west, while allowing the occupants enjoyment of expansive bay views. This orientation of the home on the site and the morning capture of daylight would fit well with Brisbane's moderate climate which has historic monthly averages in the "warm", summer months in the low 70 degree ranges for daytime highs to the mid- 50 degree ranges at night. The windows will also present a sense of openness.

The landscaping would also provide for a potential habitat corridor, as a previously approved HCP Operating Plan requirement, although neither this site nor other nearby and adjacent sites have been identified as having habitat for the species of concern in the San Bruno Mountain Habitat Conservation Plan.

Grading Permit:

Brisbane Municipal Code Sections 15.01.081 and 17.32.220 require that the Planning Commission approve any grading involving more than 250 cubic yards of material in any single operation or if more than 50 cubic yards is to be removed from any single parcel of land. Although no findings are specified, the Planning Commission determined on November 13,

2003, that it would review applicable grading permits for conformance with the General Plan in regards to the fit of the proposal with the natural topography, its design so as to avoid large exposed retaining walls and removal of protected trees, and its compliance with the San Bruno Mountain Area Habitat Conservation Plan, as applicable. See the general plan policies related to grading below.

General Plan Consistency: The proposal is consistent with the General Plan and this is borne out through the project's consistency with the permitted residential zoning and with the development regulations, along with meeting the design permit findings. Specifically, the 1994 General Plan includes the following policies and programs regarding ridgeline development and view protection and grading, which this project meets:

- Policy 18 Respect the topography of the Mountain in design and construction.
Program 18a: In conjunction with land use development applications, encourage options that minimize grading and transformation of the landform and fit comfortably with the topography.
- Policy 119 Comply with the provisions of the Habitat Conservation Plan and the Agreement with respect to the San Bruno Mountain Area Habitat Conservation Plan.
- Policy 245 Grading and excavation should be minimized and exposed retaining walls avoided. Landforms should retain the natural topographic character of the Mountain.

With regards to these policies, with approximately 1,100 cubic yards of grading, the project strikes a balance between grading to set the house into the hillside, minimizing the visual impacts as seen from off-site, and use of the existing topography and site features, such as existing driveways to keep grading at a minimum. Habitat protection has been addressed through the previously approved mitigated negative declaration for this project. Retaining walls are minimized to the extent reasonable. The most visible retaining wall will be the 3 ft wall along Thomas Avenue, which is necessary to allow for road widening to City standards.

Attachments:

- A. Draft Resolution with Findings and Conditions of Approval
- B. Project Description Table
- C. Site Location Map
- D. Applicant's Plans
- E. Applicant's Colors & Materials Sample Photo (Sample Board to Be Provided at the meeting)
- F. Photo Study
- G. Review of Design Permit Findings

ATTACHMENT A

draft

RESOLUTION DP-2-15/EX-4-15/SDU-2-15

A RESOLUTION OF THE PLANNING COMMISSION OF BRISBANE
CONDITIONALLY APPROVING DESIGN PERMIT DP-2-15,
GRADING PERMIT EX-4-15 & SECONDARY DWELLING UNIT PERMIT SDU-2-15
FOR A SINGLE-FAMILY RESIDENCE AND CONVERSION OF AN EXISTING SINGLE
FAMILY RESIDENCE TO A SECONDARY DWELLING UNIT
AT 88 THOMAS AVENUE

WHEREAS, Wing Lee, the applicant, applied to the City of Brisbane for Design Permit, Grading Permit and Secondary Dwelling Unit approval of a single-family residence and conversion of an existing single-family residence to a secondary dwelling unit at 88 Thomas Avenue; and

WHEREAS, on September 22, 2016, the Planning Commission conducted a hearing of the application, at which time any person interested in the matter was given an opportunity to be heard; and

WHEREAS, the Planning Commission reviewed and considered the staff memorandum relating to said application, the plans and photographs, the written and oral evidence presented to the Planning Commission in support of and in opposition to the application; and

WHEREAS, a Mitigated Negative Declaration was approved for the project on December 10, 2009 and the proposal is not a substantial change that would involve new significant environmental effects or substantially increase the severity of previously identified effects, consistent with State CEQA Guidelines Section 15162(a); and

WHEREAS, both the single family residence and the secondary dwelling unit would meet the applicable development regulations;

WHEREAS, the Planning Commission of the City of Brisbane hereby makes the findings attached herein as Exhibit A in connection with the Design Permit; and

WHEREAS, the Grading Permit would balance respecting the site's topography and views of and across the site from public views; and

NOW THEREFORE, based upon the findings set forth hereinabove, the Planning Commission of the City of Brisbane, at its meeting of September 22, 2016, did resolve as follows:

Design Permit Application DP-2-15 and Secondary Dwelling Unit Permit Application SDU-2-15 are approved per the conditions of approval attached herein as Exhibit A.

City Engineer issuance of Grading Permit EX-4-15 is recommended by the Planning Commission to allow the house to be set into the hillside in compliance with the conditions of approval attached herein as Exhibit A.

ADOPTED this twenty-second day of September, 2016, by the following vote:

AYES:
NOES:
ABSENT:

TUONGVAN DO
Chairperson

ATTEST:

JOHN A SWIECKI, Community Development Director

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EXHIBIT A
RESOLUTION DP-2-15/EX-4-15/SDU-2-15

Action Taken: Conditionally approve Design Permit DP-2-15, Grading Permit EX-4-15 and Secondary Dwelling Unit Permit SDU-2-15 per the staff memorandum with attachments, via adoption of Resolution DP-2-15/EX-4-15/SDU-2-15.

Findings:

- A. As a ridgeline lot, the buildings' placement, height, bulk and landscaping will preserve those public views of the San Bruno Mountain State and County Park as seen from the community park and from the Bay Trail along the Brisbane Lagoon and Sierra Point shorelines that are found to be of community-wide value.
- B. The proposal's scale, form and proportion, are harmonious, and the materials and colors used complement the project.
- C. The orientation and location of buildings, structures, open spaces and other features integrate well with each other and maintain a compatible relationship to adjacent development.
- D. Proposed buildings and structures are designed and located to mitigate potential impacts to adjacent land uses.
- E. The project design takes advantage of natural heating and cooling opportunities through building placement, landscaping and building design to the extent practicable, given site constraints, to promote sustainable development and to address long term affordability.
- F. As a hillside development, the proposal respects the topography of the site and is designed to minimize its visual impact. Significant public views of San Francisco Bay, the Brisbane Lagoon and San Bruno Mountain State and County Park are preserved.
- G. The site plan minimizes the effects of traffic on abutting streets through careful layout of the site with respect to location, dimensions of vehicular and pedestrian entrances and exit drives, and through the provision of adequate off-street parking. There is an adequate circulation pattern within the boundaries of the development. Parking facilities are adequately surfaced, landscaped and lit.
- H. The proposal encourages alternatives to travel by automobile where appropriate, through the provision of facilities for pedestrians and bicycles, public transit stops and access to other means of transportation.
- I. The site provides open areas and landscaping to complement the buildings and structures. Landscaping is also used to separate and screen service and storage areas, break up expanses of paved area and define areas for usability and privacy. Landscaping is

generally water conserving and is appropriate to the location. Attention is given to habitat protection and wildland fire hazard as appropriate.

- J. The proposal takes reasonable measures to protect against external and internal noise.
- K. Consideration has been given to avoiding off-site glare from lighting and reflective building materials.
- L. Attention is given to the screening of trash containers. Provision for screening of rooftop solar equipment, behind the parapet walls is addressed in the conditions of approval. Any other utility structures or mechanical equipment would be screen from offsite views by landscaping and the location of such equipment interior to the site.
- M. The finding that signage is appropriate in location, scale, type and color, and is effective in enhancing the design concept of the site is not applicable.
- N. The finding that provisions have been made to meet the needs of employees for outdoor space is not applicable.

Conditions of Approval:

A. Prior to Construction:

Declarations & Agreements: Note that all of the following declarations and agreements will be required to be recorded with the County, to run with the land, prior to issuance of a building permit, except that on a case-by-case basis the Planning Director may authorize completion to be prior to certificate of occupancy.

1. The owner(s) shall enter into a secondary dwelling unit agreement to be recorded with the County, prepared by the City, which will include owner occupancy restrictions per BMC Section 17.43.040.
2. The property owner(s) shall enter into a standard landscape maintenance agreement cross-referencing the requirements of the HCP Operating Program for Management Unit 2-03-21.
3. The property owner(s) shall execute an agreement waiving the right to protest the inclusion of the property within an underground utility district.
4. Prior to issuance of the Building Permit, the property owner shall enter into an agreement with the City, to the satisfaction of the City Attorney, to provide a fair share contribution toward signalization of the Bayshore Boulevard/San Bruno Avenue intersection.
5. The property owners shall comply with the Operating Program for the HCP Management Unit 2-03-21 and shall become a signatory to the San Bruno Mountain Area Habitat Conservation Plan Agreement by signing an "Agreement to Comply with the Terms and Conditions of the Agreement with Respect to the San Bruno Mountain Area Habitat

Conservation Plan and Section 10(a) Permit” and shall record a Declaration of Covenants and Restrictions per Exhibit G of the Agreement with Respect to the San Bruno Mountain Area Habitat Conservation Plan, which shall be included the requirement to participate in the HCP funding.

6. Prior to issuance of a Building/Grading permit, the property owner shall grant a Conserved Habitat easement over the eastern 20 ft of the property, prohibiting the owner from planting any trees or shrubs within the easement, and requiring the owner to remove French broom and other invasive, dicot vegetation from the easement on an annual basis and to plant native perennial species as detailed in the HCP Operating Program for Management Unit 2-03-21.

Applications:

7. A Grading Permit Application, via separate form and fee, shall be obtained, which shall be subject to review and approval by the City Engineer, consistent with this grading permit EX-4-15.
8. Grading, paving and drainage plans, including details for widening of the street per Brisbane Municipal Code Sections 12.24.010 & 15.08.140, shall be submitted for approval by the City Engineer prior to the issuance of a building permit. Drainage shall comply with the National Pollutant Discharge Elimination System (NPDES) permit issued by the San Francisco Bay Regional Water Control Board. The property owner(s) shall be responsible for ongoing operation and maintenance of any permanent structural stormwater controls.
9. Prior to issuance of a Building Permit, a soils engineering report and engineering geology report shall be submitted, and its recommendations shall be incorporated into the project.
10. An Encroachment Permit, via separate form and fee, shall be obtained prior to any work within the public right-of-way.
11. A Building Permit, via separate form and fee, shall be obtained. The plans submitted for a Building Permit shall comply with the requirements of the Brisbane Municipal Code, California Fire Code, California Building Code and the California Code of Regulations in effect at the time of Building Permit application.
12. A fire sprinkler system, fire alarm system and smoke detectors shall be provided per plans approved by the North County Fire Authority.
13. A means to provide ladder access to/from the upper floor bedroom windows shall be provided to the satisfaction of the North County Fire Authority.
14. The plans submitted for a Building Permit shall meet all of the zoning district development regulations and shall be consistent with this design permit.

15. Fire flow and any photovoltaic system shall meet the California Fire Code requirements in effect at the time of Building Permit application as determined by North County Fire Authority.
16. Building Permit plans shall include undergrounding of on-site utilities.
17. The plans shall include water and sanitary sewer service and storm drainage details as required by the City Engineer. The plans shall specify that each unit shall be served by a separate water meter.
18. The floor area of the secondary dwelling unit shall not exceed 1,000 sq. ft, as reflected in the design permit plans. So as not to be counted as floor area, the crawl space and utility room under the secondary dwelling unit shall be specified on the plans as having a ceiling height of less than 6 ft.
19. Building Permit plans shall show the trash and recycling bin storage areas for both the single family residence and the secondary dwelling unit, which shall be enclosed and screened from public view. Storage designated inside the garage area shall not encroach into the required parking spaces. Separate storage shall be provided for the secondary dwelling unit outside the garage of the single family home.
20. Prior to issuance of a building permit, construction details shall be submitted, demonstrating that the building design will limit exterior noise to comply with the mitigation measure and current Building Code requirements.
21. A mitigation measure has been included with the mitigated negative declaration to require that that low level exterior lighting be directed away from adjacent properties and not upward into the night sky so as not to result in off-site impacts upon neighboring properties.
22. The exterior building materials shall not be highly-reflective. Materials are to be as provided in the sample board with this design permit application, with minor modifications subject to Planning Director approval. Glass for the roof –deck guard rail shall either match the color of the lightly tinted window glass or clear. Dark tinting is not permitted.
23. A Landscaping Application, via separate form and fee, shall be obtained to comply with the Water Conservation in Landscaping Ordinance (BMC Section 15.70). Approval of the final landscaping plans shall be subject to Planning Director approval. Landscaping shall be in general conformance with the conceptual plans submitted with the Design Permit in terms of landscape form and as viewed from off-site.
24. The final landscape plan shall keep at a minimum the proposed percentage of California native and low to very low water use plants and shall retain the proposed number of Coast Live Oak and California Buckeye as shown in the design permit. Final landscape plans

will also be reviewed for HCP compliance and shall comply with the HCP Operating Program and Mitigations Measures.

25. The final landscaping plan shall include plantings along the southern edge of the property to provide screening between the site's lower parking area and the adjacent 8 Thomas Avenue, to the satisfaction of the Planning Director.
26. Existing trees that are proposed to remain shall be protected from root damage as directed by an arborist during construction. Measures for protection are to be indicated within the Building Permit plans. If, in despite protection measures, the tree is irreparably damaged during construction, or based on arborist advice one or more of the trees should be removed prior to construction, a suitable California native tree shall be substituted. In that case, species selection shall be subject to Planning Director approval.
27. No trees shall be removed between February 15 and August 31, unless it has been determined by a biological survey that the trees are not inhabited by nesting raptors or other birds protected under the Migratory Bird Treaty Act. A no-work buffer of 50 ft for passerine birds and 250 ft for raptors is to be provided for any nest found.
28. The design and specifications on fencing, paving materials, retaining wall and other landscape materials shall be provided as part of the final landscape plan, for Community Development Director approval. Any fence plans shall be subject to review and approval by the Planning Director for consistency with the HCP Operating Program and other applicable provisions. Fencing may include steel fencing with an open pattern.
29. The applicant shall comply with all applicable state and City stormwater requirements prior to issuance and during the performance of the building permit, including but not limited to the following:
 - a. Consistent with the state's C.3.i stormwater provisions (individual single family home projects that create and/or replace 2,500 square feet or more of impervious surface) and as indicated in the stormwater form completed by the applicant and as shown in the plans, the project will:
 - Direct roof runoff onto vegetated areas.
 - Direct runoff from walkways and/or patios onto vegetated areas.
 - Construct walkways and patios with permeable surfaces.
 - b. Storm drain inlets shall be clearly marked with the words "No Dumping! Flows to Bay," or equivalent using thermoplastic material or a plaque.
 - c. Air conditioning condensate shall drain to landscaping, or alternatively may be connected to the sanitary sewer system, subject approval by the City Engineer.
 - d. Any interior floor drains, shall be connected to the sanitary sewer system, subject to approval by the City Engineer.

- e. Fire sprinkler test water shall be discharge to onsite vegetated areas, or, alternatively shall be discharged to the sanitary sewer system, subject to approval by the City Engineer.
 - f. No architectural copper shall be used for this project, except by prior Community Development Director approval to confirm that use and/or preparation of the materials is consistent with the state water board stormwater requirements and that the specific use of copper is consistent with the design permit.
10. Rain barrels or cisterns shall be located underground to eliminate their visual impacts, from off-site public views, except where properly screened and outside setback areas, subject to Planning Director approval.
 11. Plans shall include a sectional roll-up garage door with automatic opener and with manual release mechanism.
 12. Any plans for an entry gate shall include automatic opener for the entry gate and the gate shall be located so that it does not prevent a standard sized vehicle from pulling completely off San Bruno Avenue (at least 18 ft from the right-of-way). The gate plans shall be subject to review and approval by the Fire Dept. to ensure that emergency access will be maintained and subject to Planning Director approval for design permit consistency.
 13. If solar panels are to be installed they shall be installed to be, not more than 2.5 ft above the roof deck at the highest points of the panels and behind the parapet walls, so as to minimize view impacts, subject to Community Development Director approval. At his discretion, the Community Development Director may refer a solar installation to the Planning Commission as a design permit revision.

B. During Construction:

14. Prior to foundation construction, a surveyed plot plan and staking plan shall be submitted to the City Building and Planning Departments.
15. The project shall comply with the stormwater Best Management Practices, as provided in the applicable state regulations and included in the applicant's stormwater checklist for Small Projects.
16. All grading shall be contained on the site and shall comply with the provisions of Brisbane Municipal Code Chapter 15.01, with National Pollution Discharge Elimination System permit construction and post-construction best management practices for storm water discharge [per BMC Section 13.04.620(c)] and with Bay Area Air Quality Management District's standard dust control measures (BAAQMD CEQA Guidelines, Table 2), including watering active construction areas at least twice daily, covering all trucks hauling loose materials or requiring them to maintain at least 2 ft. of freeboard, sweeping staging areas daily, and sweeping streets if visible soil material tracked onto

them. Prior to construction, all Best Management Practice improvements necessary to prevent stormwater pollution per NPDES shall be in place and shall be maintained thereafter to the satisfaction of the Public Works Department.

17. A licensed geotechnical engineer, civil engineer, soils engineer engineering geologist or testing agency shall inspect and certify that the geotechnical investigation's recommendations have been properly implemented.
18. Any prehistoric Native American cultural resources found during the course of construction shall be conserved in accordance with State and Federal requirements (Appendix K of the State CEQA Guidelines).

C. Prior to Occupancy:

19. Prior to certificate of occupancy the applicant shall demonstrate conformance with all of the above design permit conditions of approval.
20. All landscaping shall be installed, including that proposed in the public right-of-way.
21. House numbers shall be affixed to the building at a location visible from the street and a size subject to approval by the Fire Dept.
22. Mail box(es) shall be provided at a location(s) and design subject to Community Development Director approval and the Brisbane Post Office.
23. Prior to issuance of a Certificate of Occupancy, the County of San Mateo Department of Parks shall be notified in order to begin the annual assessment of San Bruno Mountain Area Habitat Conservation Plan fees, in compliance with the HCP Operating Program for Management Unit 2-03-21

D. Other Conditions:

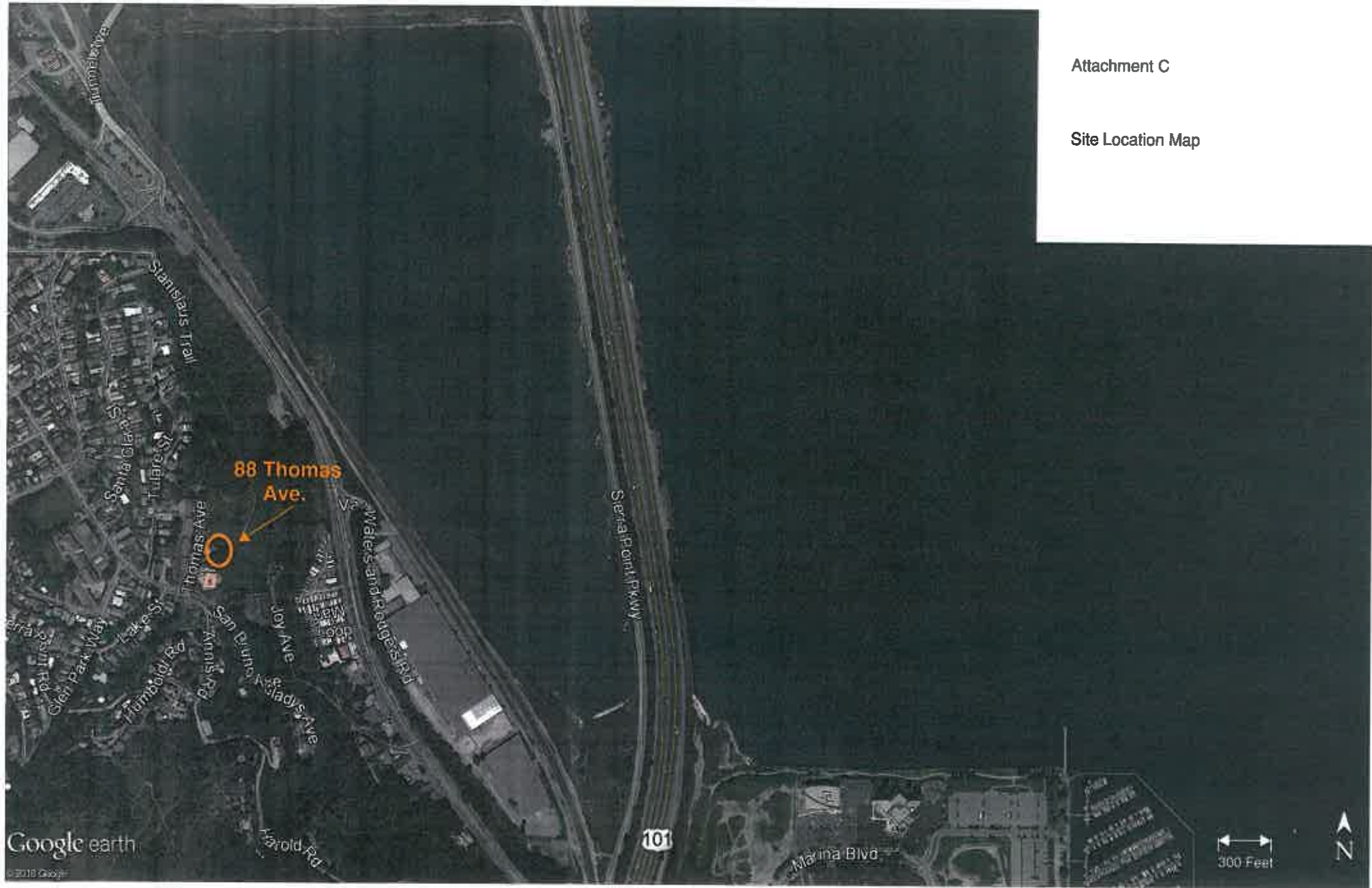
24. The required garage parking spaces shall not be used or converted to any other use that would impair their basic use as parking for motor vehicles per Brisbane Municipal Code Section 17.34.020.A.
25. Design permit amendments and minor modifications are subject to the provisions of BMC 17.42.070 - Amendment of design permit—Minor modifications. Minor modifications or amendments to grading, that do not materially affect the nature or appearance of the project may be approved by the City Engineer and Planning Director.
26. The permittee agrees to indemnify, defend and hold the City and its officers, officials, boards, commissions, employees and volunteers harmless from and against any claim, action or proceeding brought by any third party to attack, set aside, modify or annul the approval, permit or other entitlement given to the applicant, or any of the proceedings, acts or determinations taken done or made prior to the granting of such approval, permit or entitlement.

27. The Design Permit shall expire two years from its effective date (at the end of the appeal period) if a Building Permit has not yet been issued for the approved project.

ATTACHMENT B

Project Description Table 88 Thomas Avenue

Site Description		
General Plan Designation:	Residential: 0-2 dwelling units per acre	
Zoning:	R-BA Brisbane Acres Residential	
Lot Area:	20,841 sq. ft.	
Lot Dimensions:	Odd Shaped Lot (128 ft wide by 163 ft 5in deep)	
Slope:	17% +/- (Lot steepens to the back, to be 29% +/- across the back half of the lot.)	
Existing Development:	Single Family Home (1,627 sq ft +/-)	
Development Standards	Maximums	Proposed
Density:	1 Single Family Residence per 20,000 sq ft, plus Secondary Dwelling.	1 SFR, plus 1 SDU
Lot Coverage:	23% (4,763 sq. ft.)	25% (5,210 sq. ft.)
Floor Area Ratio:	0.72, but not to exceed 5,500 sq ft	0.24 (5,006 sq. ft. total, includes 4,008 sq ft single family home with the garage space, plus 998 sq ft secondary dwelling unit.)
Height	35 ft (except may be lowered for ridgeline lots via design permit)	SFR: 27.5 ft at 2 story level 17.5 ft at 1 story level, plus 3.5 ft to top of roof deck guardrail. SDU: 18.3 ft.
	Minimums	Proposed
Building Setbacks--		
Front - Thomas Ave.	10 ft	20 ft
Side -- north (interior)	12 ft 7 in	14 ft 6 in
Side -- south (interior)	12 ft 7 in	16 ft
Rear - downslope side	10 ft per BMC, 20 per HCP	22 ft 6 in
Articulation for outside walls that are greater than 20 ft by 20 ft	NA- All exterior walls are less than 20 ft in height.	
Landscaping	HCP compliant/water conserving	HCP compliant/water conserving
Parking	6 total. A minimum of 2 garage spaces, plus 2 uncovered spaces which may be on or off-street 50% may be compact, plus 2 standard spaces for SDU	10 total, including 2 garage spaces plus 8 off street uncovered. Includes 2 spaces which may be recognized in tandem in front of the garage.



INDEX OF DRAWINGS

GENERAL
 G 0.0 INDEX SHEET / LOCATION MAP / BUILDING DATA
 G 0.1 GENERAL NOTES
 G 0.1 STORY POLES

SURVEY
 SURVEY DRAWING

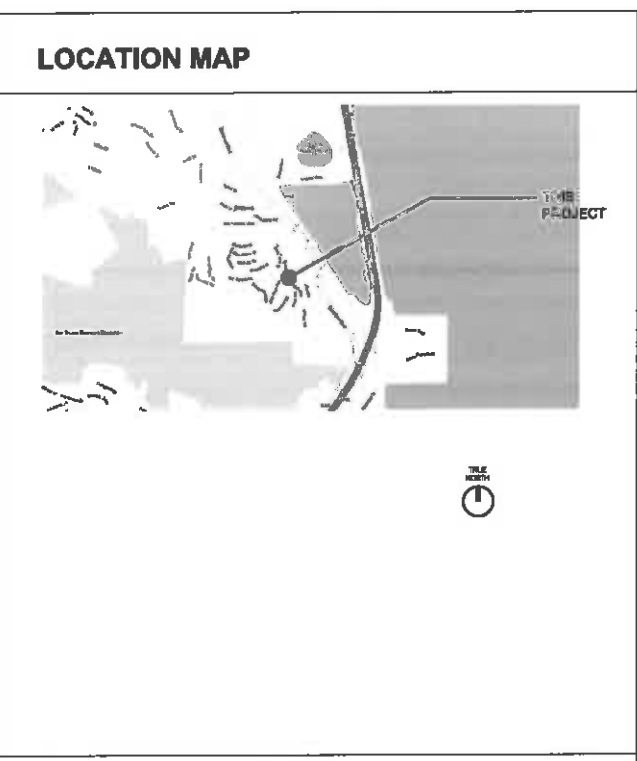
CIVIL
 IMPROVEMENT PLAN
 GRADING AND DRAINAGE PLAN
 EROSION CONTROL

LANDSCAPE
 L 1.0 EXISTING CONDITIONS/PROPOSED PLANT, REMOVALS
 L 1.1 LANDSCAPE PLAN
 L 1.2 LANDSCAPE ELEVATIONS

ARCHITECTURAL
 AE 1.0 EXISTING/DEMOLITION SITE PLAN
 AE 2.0 EXISTING/DEMOLITION PLAN (DWELLING 1)
 AE 3.0 EXISTING/DEMOLITION ELEVATIONS (DWELLING 1)

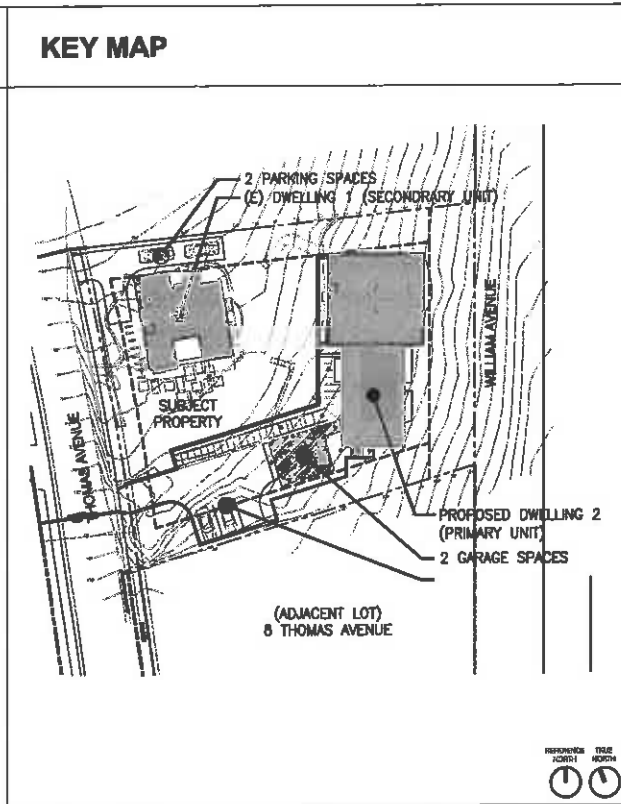
A 1.0 PROPOSED SITE PLAN
 A 1.2 PROPOSED PLAN DWELLING 1
 A 2.1 PROPOSED GROUND FLOOR PLAN DWELLING 2
 A 2.2 PROPOSED SECOND FLOOR PLAN DWELLING 2
 A 2.3 PROPOSED ROOF PLAN DWELLING 1
 A 3.0 PROPOSED ELEVATIONS DWELLING 1
 A 3.1 PROPOSED ELEVATIONS DWELLING 2
 A 3.2 PROPOSED ELEVATIONS DWELLING 2
 A 4.0 VIEW LOOKING WEST FROM HIKING TRAIL

A 9.1 COLOR ELEVATIONS OF DWELLING 1
 A 9.2 COLOR ELEVATIONS OF DWELLING 2
 A 9.3 COLOR ELEVATIONS OF DWELLING 2



BUILDING DATA

	EXISTING	PROPOSED
OCCUPANCY	R3 & U	
ZONE	R-BA	NO CHANGE
LOT AREA	21,864 SF	20,841 SF AFTER WIDENING OF THOMAS AVENUE
EXISTING DWELLING 1 (SECONDARY DWELLING)	1,627 SF (TOTAL)	987 GSF (TOTAL)
SECOND LEVEL GROUND LEVEL	1,311 SF 316 SF	998 GSF < 1,000 GSF 0 SF
PROPOSED DWELLING 2 (PRIMARY DWELLING)	0 SF (TOTAL)	4,008 GSF (TOTAL)
SECOND LEVEL GROUND LEVEL	0 SF 0 SF	1,448 GSF 2,560 GSF
SLOPE	18%	NO CHANGE
LOT COVERAGE	1,677 SF	4,628 = (1,151 + 3,477) SF <25% OF 20,841 SF = 5,210 SF
DWELLING 1 DWELLING 2	1,677 SF 0 SF	1,151 SF 3,477 SF
FLOOR AREA CALCULATIONS WITH PROPOSED DWELLING 2		5,008 SF = (998 + 4,008) SF < 5,500 SF (MAX ALLOWED)
HEIGHT LIMIT	DWELLING 1 = 17' < 30'	DWELLING 1 = 17' < 30' DWELLING 2 = 23' < 30'
PARKING	1 GARAGE, 2 ON-SITE	2 GARAGE, 4 ON-SITE (TOTAL = 6 MINIMUM REQ')
BUILDING TYPE	TYPE V-A	TYPE V-A FOR BOTH DWELLINGS
SETBACKS	DWELLING 1	DWELLING 1 DWELLING 2
FRONT	24' > 10'	18' > 10' 104' > 10'
GARAGE	50' > 0'	NA 70' > 0'
REAR	117' > 20'	NO CHANGE 22.5' > 20'
NORTH SIDE	15' = MIN.	NO CHANGE 15' = MIN.
SOUTH SIDE	78' > 15'	NO CHANGE 15' = MIN.



ARCHITECT

WING LEE ARCHITECTS
 1403 HUDSON AVENUE
 SAN FRANCISCO CA 94124
 T 415.297.8493
 www.wingleeassoc.com

APPLICABLE CODES

ALL DESIGN AND CONSTRUCTION SHALL CONFORM:

2013 CALIFORNIA BUILDING CODE (CBC)
 2013 CALIFORNIA FIRE CODE (CFC) AND NORTH COUNTY FIRE AUTHORITY
 2013 CALIFORNIA PLUMBING CODE (CPC)
 2013 CALIFORNIA ELECTRICAL CODE (CEC)
 2013 CALIFORNIA MECHANICAL CODE (CMC)
 2013 CALIFORNIA GREEN BUILDING STANDARDS
 2013 CALIFORNIA ENERGY CODE
 CALGREEN MANDATORY MEASURES

PROJECT DESCRIPTION

ADDING A NEW TWO-STORY DWELLING UNIT AS THE PRIMARY UNIT (DWELLING #2) AT THE SITE WITH NEW DRIVEWAY AND SITE WORK.

RENOVATION OF THE EXISTING DWELLING #1 WHICH WILL BECOME THE SECONDARY DWELLING UNIT WITH OVERALL GSF LESS THAN 1,000 SF.

NEW SIDEWALK ALONG THOMAS AVENUE WITH STREET WIDENING.

PROJECT TEAM

OWNER REPRESENTATIVE	GLADYS CHAN 764 CLAY STREET SAN FRANCISCO, CA 94108	T 415 992 2901
ARCHITECT	WING LEE ARCHITECTS 1403 HUDSON AVENUE SAN FRANCISCO, CA 94124	T 415.297.8493
STRUCTURAL ENGINEER	STEPHEN CHAN, S.E. 870 JUNIPERO SERRA BLVD SAN FRANCISCO, CA 94127	T 415.606.7848
GEOTECHNICAL	SUMMIT ENGINEERING 5855 CASTLE DRIVE OAKLAND, CA 94611	T 510.531.6655
MECHANICAL/PLUMBING ENERGY CALCULATION	MK ENGINEERS, INC. 3450 THIRD STREET, SUITE 4B SAN FRANCISCO, CA 94124	T 415.282.3100
LANDSCAPE ARCHITECT	SHADES OF GREEN 1306 BRIDGEWAY, SUITE A SAUSALITO, CA 94965	T 415.332.1485
CIVIL ENGINEER	KW ENGINEERING 152 CHAMA WAY FREMONT, CA 94539	T 408.935.8948
SURVEYOR	B&H SURVEYING INC. 901 WALTERMIRE STREET BELMONT, CA 94002	T 650.637.1590
GREEN POINT RATER	MICHAEL CHAU, B. ENG. GREENPOINT RATER 4052 EL CAMINO WAY PALO ALTO, CA 94306	T 650.799.7100

ISSUE RECORD/DATE

PLANNING SUBMITTAL	10/08/2015
PLANNING RESUBMITTAL	12/28/2015
PLANNING RESUBMITTAL	04/22/16
PLANNING HEARING	02/22/2016



PROJECT

88 THOMAS AVENUE
 BRISBANE
 CA 94005

DRAWING TITLE

INDEX SHEET
 BUILDING DATA
 PROJECT DESCRIPTION
 APPLICABLE CODES

SHEET

G-0.0

PLANNING APPLICATION

ISSUE	RECORD/DATE
PLANNING SUBMITTAL	10/02/16
PLANNING RESUBMITTAL	7/20/16
PLANNING RESUBMITTAL	02/02/16
PLANNING HEARING	02/02/16

STAMP


PROJECT
 88 THOMAS AVENUE
 BRISBANE
 CA 94005

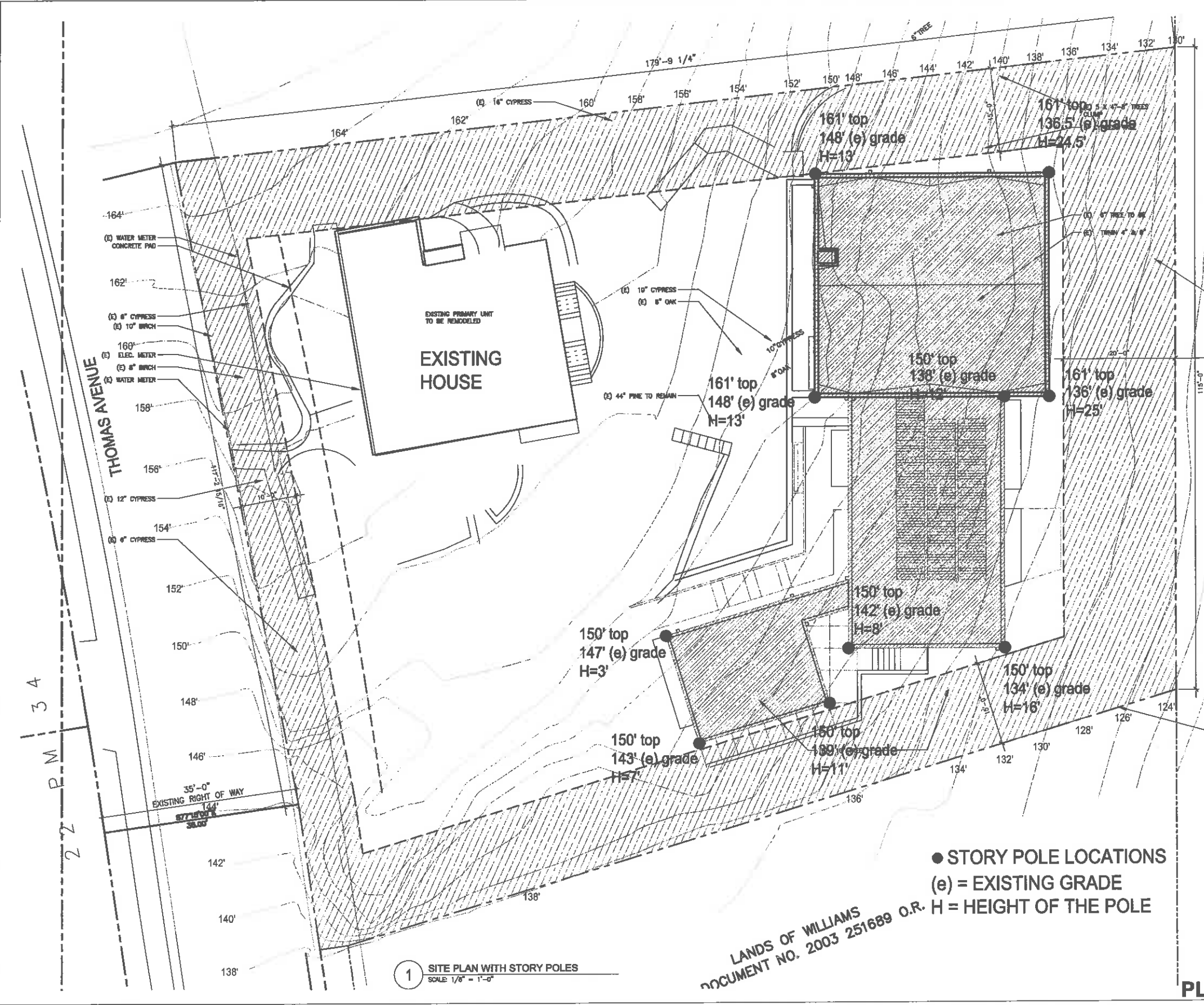
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 STORY POLE

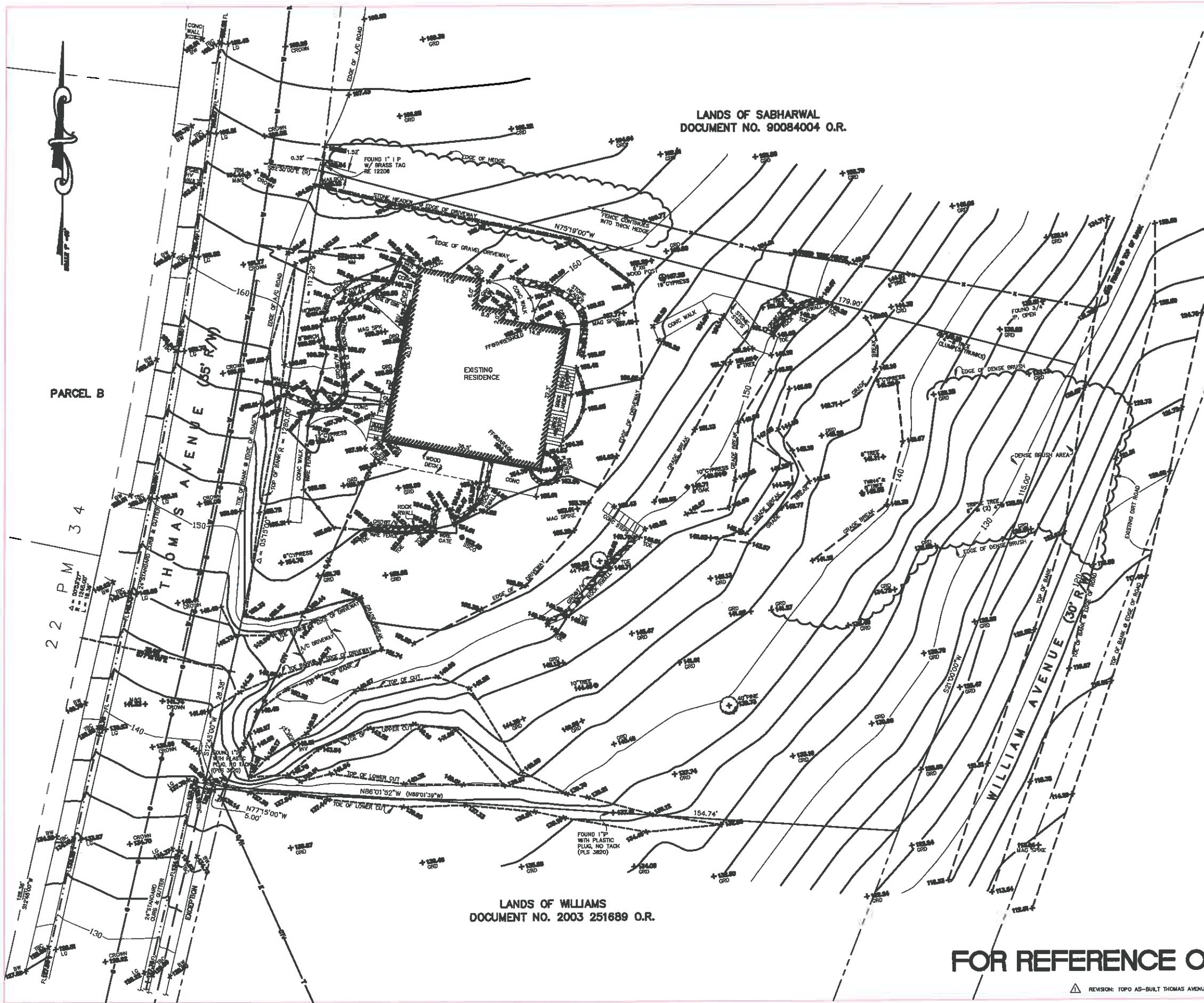
SHEET
 G0.1

STORY POLE CERTIFICATION
 I, WING LEE, THE ARCHITECT OF RECORD OF 88 THOMAS AVENUE PROJECT CERTIFY THAT THE INSTALLED STORY POLES BY A LICENSED CONTRACTOR ON SEPTEMBER 2, 2016 ARE CORRECT AND CONSISTENT TO THE HEIGHTS AND LOCATIONS SHOWN IN THIS DRAWING.

WING LEE AIA, LEED AP BD+C 9-7-2016

PLANNING APPLICATION





LANDS OF SABHARWAL
DOCUMENT NO. 90084004 O.R.

LANDS OF WILLIAMS
DOCUMENT NO. 2003 251689 O.R.

BASE OF ELEVATIONS:
ELEVATIONS ARE BASED UPON AN ADJACENT BOUNDARY POINT. THE ELEVATION IS BASED ON A BENCH MARK WHICH WAS FOUND AT THE TIME OF THIS SURVEY AND IS USED AS THE BASIS OF ELEVATIONS FOR THE SURVEY.

BASE OF BEARINGS:
THE BEARINGS, HORIZONS, DISTANCES AND ANGLES ARE BASED ON THE BENCH MARK WHICH WAS FOUND AT THE TIME OF THIS SURVEY AND IS USED AS THE BASIS OF BEARINGS FOR THE SURVEY.

LEGEND:



UTILITY NOTE:
THE UTILITIES SHOWN ON THE SURFACE AND SHOWN ON THE PLAN ARE LOCATED BY FIELD SURVEY. ALL UTILITIES ARE SHOWN AS LOCATED BY FIELD SURVEY AND ARE NOT THE PROPERTY OF THE SURVEYOR. THE SURVEYOR DOES NOT ASSUME RESPONSIBILITY FOR THE LOCATION, DEPTH OR CHARACTER OF UTILITIES SHOWN OR FOR DAMAGES CAUSED BY DISRUPTION OF UTILITIES.



BOUNDARY AND TOPOGRAPHIC SURVEY

LANDS OF LIU
DOCUMENT # 2005-048704 O.R.
ASSESSOR'S PARCEL NUMBER: 007-350-200
(88 THOMAS AVENUE)

BRISBANE SAN MATEO COUNTY CALIFORNIA
SCALE: 1" = 10' OCTOBER, 2005

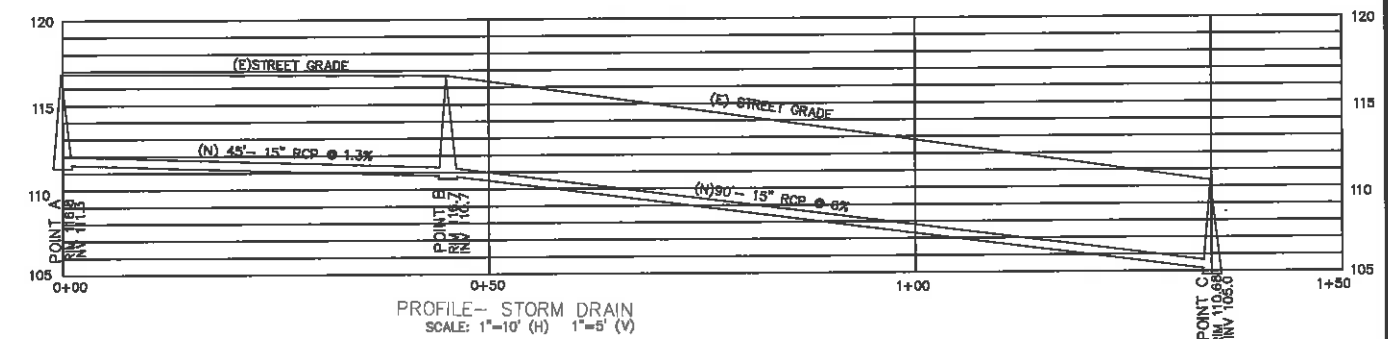
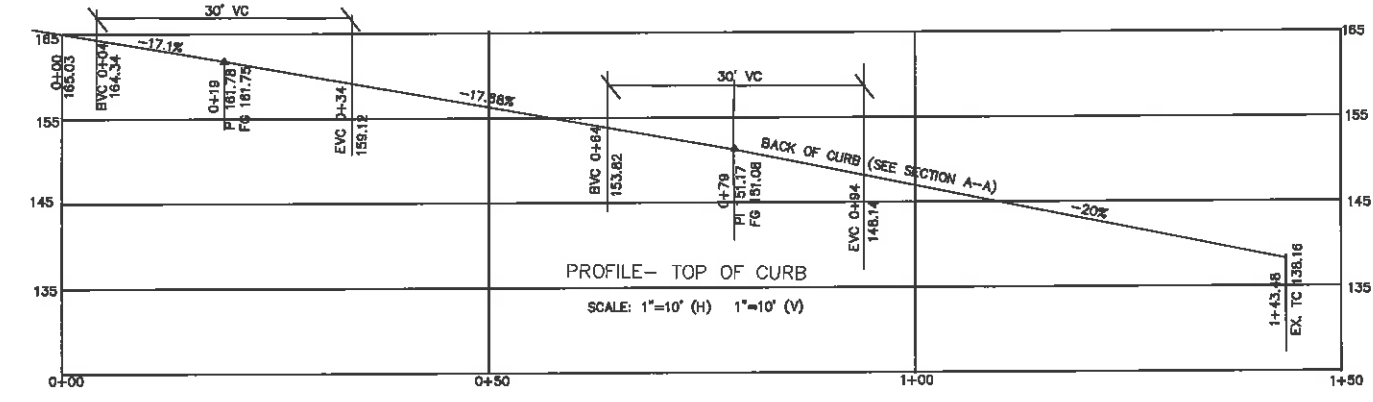
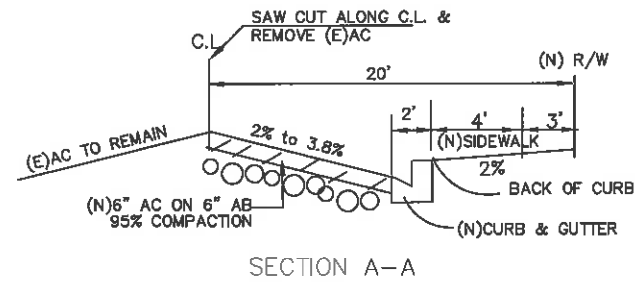
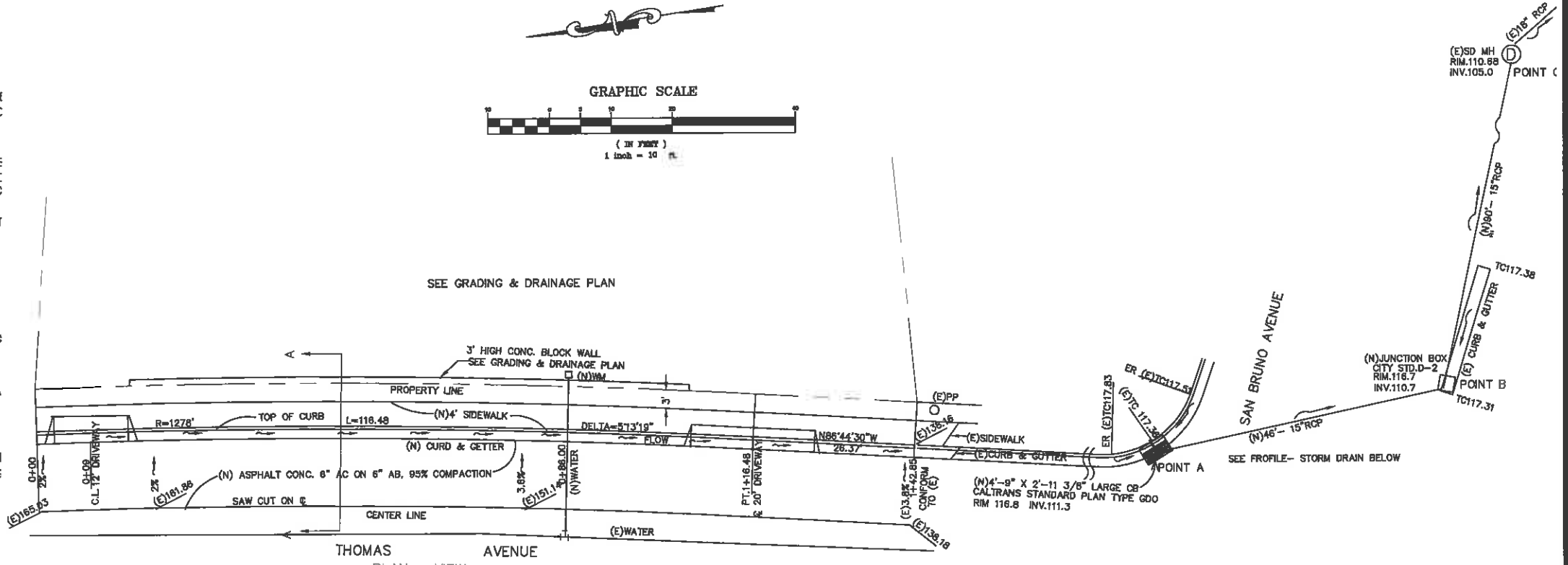
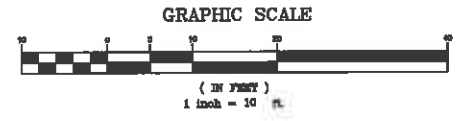
B & H SURVEYING, INC.
PROFESSIONAL LAND SURVEYING
FORMERLY R.C. HUTTON & ASSOCIATES
801 WALTERWIRE ST.
BELMONT, CA 94002
OFFICE (950) 637-1580
FAX (950) 637-1089

FOR REFERENCE ONLY

REVISION: TOPO AS-BUILT THOMAS AVENUE, 10/22/08

NOTES:

1. ENCROACHMENT PERMIT
OBTAIN AN ENCROACHMENT PERMIT FROM THE CITY OF BRISBANE PUBLIC WORKS () BEFORE PERFORMING ANY WORK WITHIN THE PUBLIC RIGHT OF WAY. MAINTAIN A C PERMIT ON THE JOB SITE AT ALL TIME.
2. CONTRACTOR'S RESPONSIBILITY
THE CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RES FOR JOB SITE CONDITION DURING THE COURSE OF THE WORK, INCLUDING SAFETY C PERSONS AND PROPERTY; THAT THE REQUIREMENT SHALL APPLY CONTINUOUSLY AND TO WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND ITS OFFICERS, EMPLOYEES AND VOLUNTEERS HARMLESS FOR ANY AND ALL LIABILITY ALLEGED, IN CONNECTION WITH PERFORMANCE OF THE WORK.
3. CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT AT 800-227-260 HOURS PRIOR TO COMMENCING EXCAVATION.
4. CURB & GUTTER SHALL BE TYPE A2-200 PER CALTRAN STANDARD PLAN WITH AGGREGATE BASE. WEAKENED PLANE SHALL BE 8' INTERVAL.
5. SIDEWALK SHALL BE 4" PCC ON 4" CLASS 2 AGGREGATE BASE WITH WEAKENED AT 5' INTERVAL. EXPANSION JOINTS AT BEGINNING OF CURB RETURN, END OF CUR AND AROUND UTILITY POLES IN SIDEWALK.
6. ASPHALT CONCRETE SHALL BE TYPE A- 3/4" COARSE FOR BASE, 3/4" MEDIUM AC COMPACTION SHALL BE DETERMINED BY ASTM CURRENT EDITION.
7. DRIVEWAY SHALL BE CITY STANDARD DETAIL C-1
8. AC COATING: APPLY TACK COAT TO SURFACE DESIGNATED IN, AND IN ACCORDI 39-4.02 OF THE 1988 CALTRAN STANDARD SPECIFICATION. ASPHALT EMULSION US SS-1H.



LEGEND:

CB	CATCH BASIN
SD	STORM DRAIN
PT	POINT OF TANGENT
ER	END OF RETURN
SS	SANITARY SEWER
W	WATER
CO	CLEANOUT
PP	POWER POLE
(E)	EXISTING
(N)	NEW
PROPERTY LINE	---

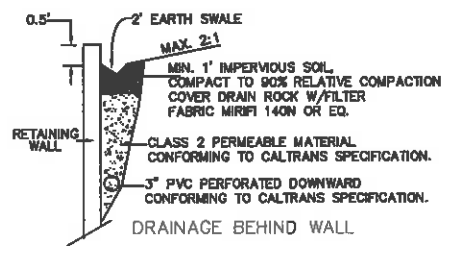
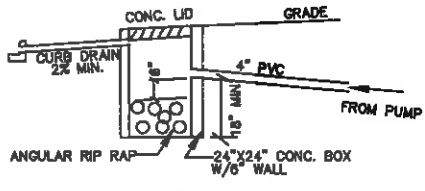
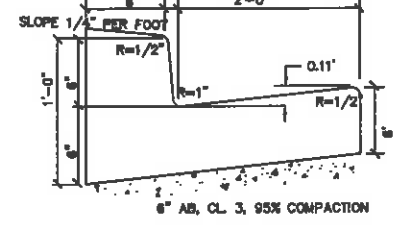
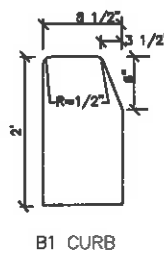
88 THOMAS AVENUE
IMPROVEMENT PLAN
SHEET 1 OF 1

DESIGNED BY:
KENNY WONG
152 CHAMA WAY
FREMONT, CA 94539
TEL (510) 226-1657

DATE: 9/15/14

GENERAL NOTE:

1. THE ORGANIC MATERIAL COVERING THE SITE SHALL BE STOCKPILED. THE STRIPPING SHALL BE USED TO BACKFILL ALL LANDSCAPE PLANTERS AND ROUGH GRADE MOUND AREAS, AS SHOWN ON LANDSCAPE DRAWING IF ANY, TO WITHIN 6" OF GRADE SHOWN. EXCESS STRIPPING AND EXCAVATED MATERIAL SHALL BE REMOVED FROM THE SITE BY THE GRADING CONTRACTOR.
2. ALL GRADING AND EARTHWORK SHALL BE IN ACCORDANCE WITH THE SOIL REPORT FOR THIS PROPERTY; SECTION 19, STANDARD SPECIFICATION, STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION; AND CITY OF BRISBANE. IT IS THE REQUIREMENT OF THIS PROJECT THAT THE SOIL ENGINEER BE PRESENT AT THE CONSTRUCTION SITE DURING THE ENTIRE GRADING OPERATION.
3. COMPACTION TO BE DETERMINED USING ASTM CURRENT EDITION AND THE GEOTECHNICAL REPORT.
4. CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITIES AND SEWER LINES WHERE THEY ARE TO BE CROSSED ABOVE OR BELOW BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ASSURE THAT THERE IS SUFFICIENT CLEARANCE. PIPES SHALL NOT BE STRUNG NOR TRENCHING COMMENCED UNTIL ALL CROSSING HAVE BEEN VERIFIED FOR CLEARANCE. IF THE CONTRACTOR FAILS TO FOLLOW THIS PROCEDURE, HE/SHE WILL BE SOLELY RESPONSIBLE FOR ANY EXTRA WORK OR MATERIAL REQUIRED IF MODIFICATION TO THE DESIGN ARE NECESSARY. CONTRACTOR SHALL NOTIFY ALL PUBLIC AND PRIVATE UTILITY OWNERS 48 HOURS PRIOR TO COMMENCEMENT OF WORK ADJACENT TO THE UTILITY. CONTACT UNDERGROUND SERVICES ALERT(USA) AT (800)842-2444.
4. THE PERMITTEE MUST MAINTAIN THE STREETS, SIDEWALKS AND OTHER PUBLIC RIGHT OF WAY IN A CLEAN, SAFE AND USABLE CONDITION. ANY SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS MUST BE REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THIS PROJECT.
5. THE CONTRACTOR SHALL VERIFY THE CONTENTS AND THICKNESS OF THE BUILDING SLAB SECTION (I.E. CONCRETE, SAND, ROCK) WITH THE STRUCTURAL PLAN AND THE ELEVATIONS SHOWN HEREON PRIOR TO COMMENCEMENT OF GRADING OPERATION.
6. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERAL ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITION DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THE CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN ACCORDANCE WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.
7. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO GENERAL AND SPECIFIC PROVISIONS, STANDARD DRAWINGS, AND REQUIREMENT OF THE CITY OF BRISBANE.
8. CONTRACTOR SHALL PROVIDE ADEQUATE DUST CONTROL AT ALL TIME. COMPLIANCE WITH THE APPLICABLE SECTION OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCHING SHORING DESIGN AND INSTALLATION.
9. DRAINAGE SWALE TO BE 1% MINIMUM, AND 2% MINIMUM DRAINING AWAY FROM HOUSE.
10. ROOF DRAIN: ROOF DRAIN SHALL BE CONNECTED TO THE 4" PVC WITH 2" PVC ON 2% MINIMUM SLOPE, AS SHOWN ON THIS PLAN.

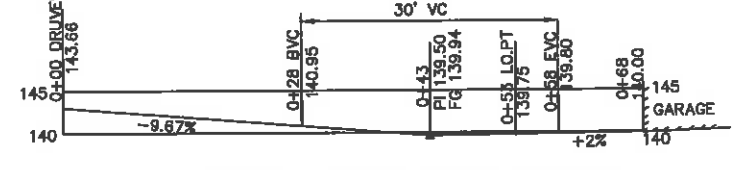
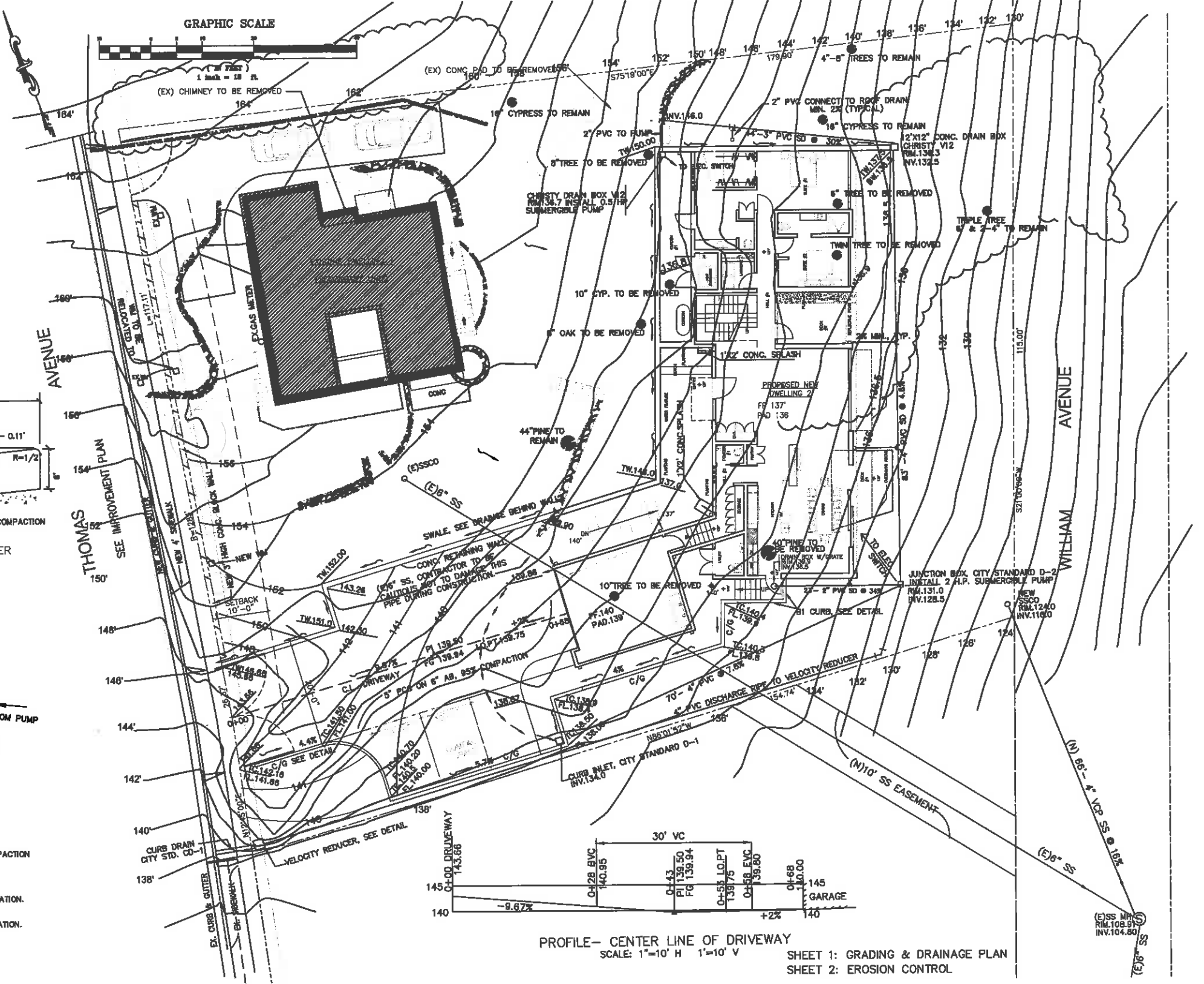


EARTHWORK:	FILL	CUT
	20 C.Y.	1,058 C.Y.
EXPORT SOIL	1,038 C.Y.	

NOTE: THE ACTUAL CUT/FILL WILL DEPEND ON THE SOIL DENSITY, WATER CONTENT, COMPACTION FACTOR, ETC. AND THE ACTUAL QUANTITY COULD BE DIFFERENT. CONTRACTOR IS TO PERFORM HIS/HER OWN CALCULATION.

LEGEND:

EXISTING CONTOUR	---	140
PROPERTY LINE	---	
PROPOSED CONTOUR	---	140
PROPOSED SPOT ELEVATION	---	148.34
TOP OF WALL	---	FW
BOTTOM OF WALL	---	BW
FLOW LINE	---	
LOW POINT	---	LO.PT.
TOP OF CURB	---	TC
CURB & GUTTER	---	C/G
POINT OF INTERSECTION	---	PI
FINISHED GRADE	---	FG
BEGINNING OF VERTICAL CURVE	---	BVC
END OF VERTICAL CURVE	---	EVC
TREE AS NOTED ON THIS PLAN	---	●



PROFILE- CENTER LINE OF DRIVEWAY
SCALE: 1"=10' H 1"=10' V
SHEET 1: GRADING & DRAINAGE PLAN
SHEET 2: EROSION CONTROL

DATE: 09/22/14

88 THOMAS AVENUE
GRADING & DRAINAGE PLAN
SHEET 1 OF 2

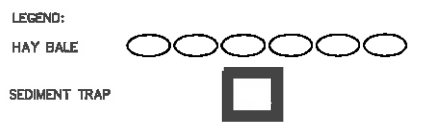
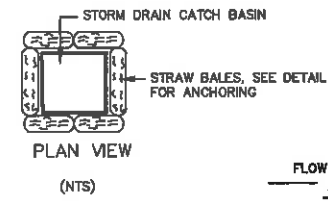
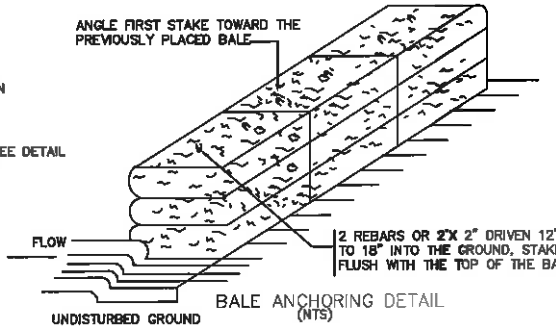
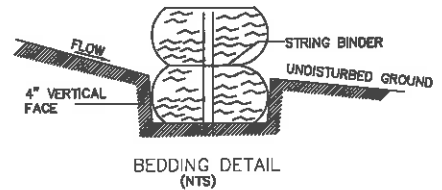
PREPARED BY:
KENNY WONG, PE, PLS
152 CHAMA WAY
FREMONT, CA
TEL. (510) 226-1657

GRAPHIC SCALE
(IN FEET)
1 inch = 10 ft.

EROSION CONTROL NOTES:

1. EROSION CONTROL MEASURES SHALL CONFORM TO ABAG STANDARDS, CITY STANDARDS AND THE APPROVAL OF THE CITY'S ENGINEERING DEPARTMENT.
2. ALL MATERIALS NECESSARY FOR THE APPROVED EROSION CONTROL MEASURES SHALL BE ON SITE BY OCTOBER 15TH AND IN PLACE BY NOVEMBER 1ST.
3. EROSION CONTROL SYSTEMS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON, OR FROM NOVEMBER 1ST THROUGH APRIL 1ST, WHICHEVER IS LONGER.
4. IN THE EVENT OF RAIN, ALL GRADING WORK IS TO CEASE IMMEDIATELY AND THE SITE IS TO BE SEALED IN ACCORDANCE WITH THE APPROVED EROSION CONTROL MEASURES AND APPROVED EROSION CONTROL PLAN.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND REPAIRING EROSION CONTROL SYSTEM AFTER EACH STORM.
6. PROJECT MUST HAVE ALL CUT AND FILL SLOPES PROTECTED BY SEEDING AND PUNCHING THE SLOPES WITH STRAW OR HYDROSEEDING.
7. ANY AREAS OF DISTURBED SOIL SHALL BE SEED OR REPLACED TO THE SATISFACTION OF THE CITY ENGINEER PRIOR TO NOVEMBER 1ST, OR FINAL INSPECTION, WHICHEVER IS SOONER.
8. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS DETERMINED BY CITY'S ENGINEERING DEPARTMENT OR BUILDING DEPARTMENT.
9. PROJECT SHALL PREVENT ANY ACCUMULATION OR DEPOSIT OF DIRT, MUD, SAND, ROCK, GRAVEL OR DEBRIS ON THE SURFACE OF ANY STREET, ALLEY OR PUBLIC PLACE OR IN ANY PUBLIC STORM DRAIN SYSTEM.

9. AFTER THE UNDERGROUND STORM IS INSTALLED, THE DRAIN INLET SHALL BE INSTALLED AS SOON AS PRACTICAL AND HAY BALES SHALL BE PLACED AROUND THOSE DRAIN INLET AS SHOWN ON THIS PLAN AND IN THE DETAIL ON THIS SHEET UNTIL THE SITE IS PAVED.
10. BALES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING.
11. EACH BALE SHALL BE EMBEDDED INTO THE SOIL A MINIMUM OF 4".
12. BALES SHALL BE SECURELY ANCHORED IN PLACE BY TWO STAKES OR REBARS DRIVEN THROUGH THE BALES. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.
13. THE DIKE SHALL BE INSPECTED AFTER EACH STORM, AND REPAIR OR REPLACEMENT SHALL BE PROMPTLY AS NEEDED.
14. BALES SHALL BE REMOVED AFTER THEIR PURPOSE SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DAMAGED.



DATE: 9/15/14

88 THOMAS AVENUE
EROSION CONTROL
 SHEET 2 OF 2

PREPARED BY:
 KENNY WONG, PE, PLS
 152 CHAMA WAY
 FREMONT, CA 94539
 TEL. (510) 226-1657

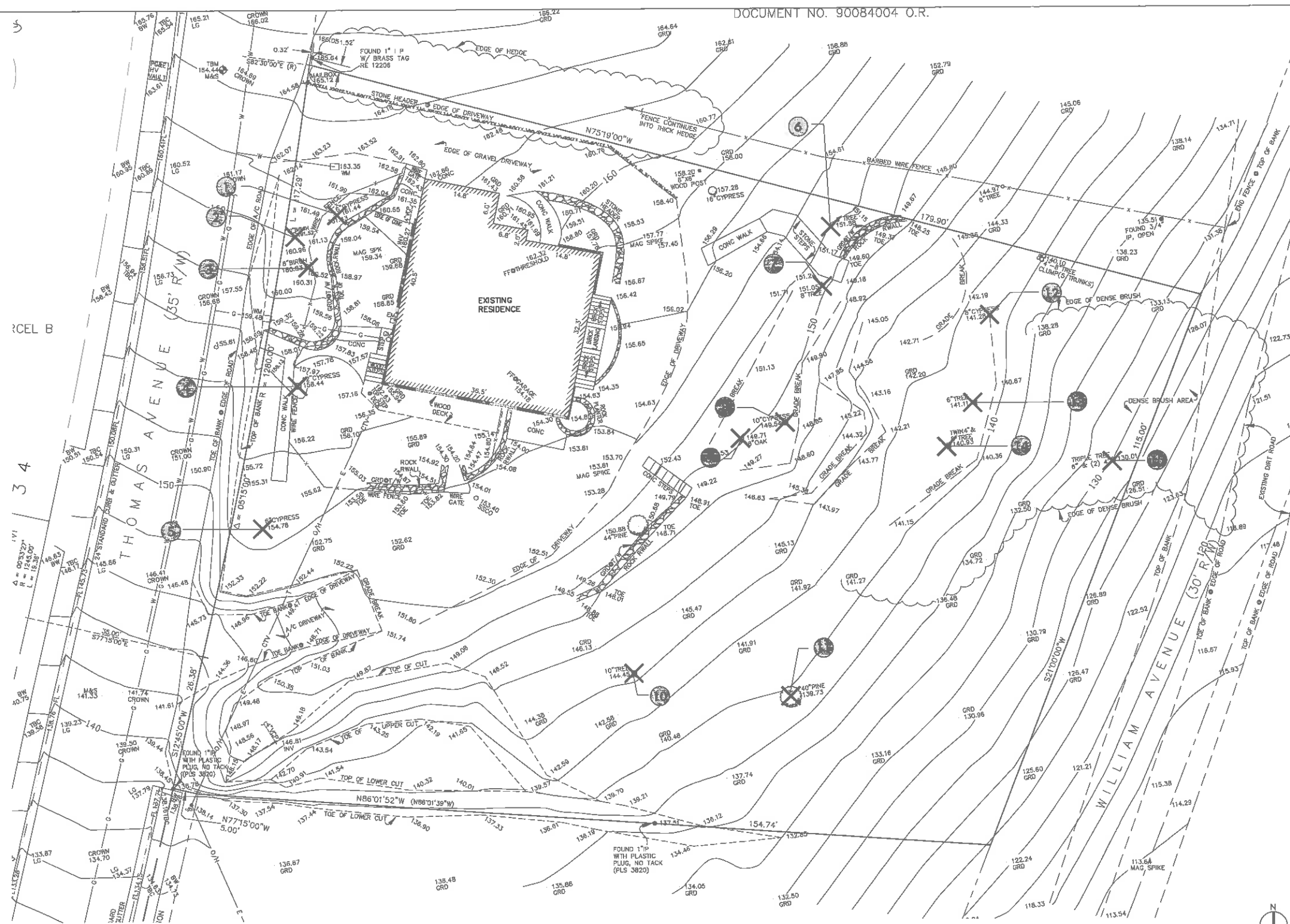
GENERAL LAYOUT LEGEND

- SYMBOL DESCRIPTION
- PROPERTY LINE
 - CONTOUR LINES
 - (E) EXISTING
 - TREES TO BE REMOVED

TREE REMOVAL LIST

- 6' CYPRESS
- 10' BIRCH
- 8' BIRCH
- 12' CYPRESS
- 6' CYPRESS
- 6' TREE
- 8' TREE
- 10' CYPRESS
- 8' OAK
- 10' TREE
- 40' PINE
- 8' CYPRESS
- 6' TREE
- TWIN 4' AND 8' TREE
- TRIPLE TREES, 1-6' AND 2-4'

NOTES:
PER CITY OF BRISBANE MUNICIPAL CODE SECTION 12.12, REPLACE PROTECTED SPECIES SUCH AS COAST LIVE OAK IF EXISTING PROTECTED TREES TO BE REMOVED.



SHADES OF GREEN LANDSCAPE ARCHITECTURE
320C PINE STREET SAUSALITO, CA
415.232.1483 info@shadesofgreen.com



PROJECT:
88 THOMAS AVENUE
Brisbane, California

REVISIONS:

NO.	DATE	DESCRIPTION
07/01/2015		EXISTING REMOVALS REV
07/06/2015		EXISTING REMOVALS REV
12/15/2018		PLANNING APPLICATION DESIGN REVIEW
03/01/2019		PLANNING REVISION

DRAWING TITLE:
**EXISTING CONDITIONS/
PROPOSED PLANT
REMOVALS**

PROJECT NO:
148

SCALE:
AS SHOWN

DRAWN BY:
JE

REVIEWED BY:
JE

ISSUE DATE:

DRAWING NO:
L1.0

GENERAL LAYOUT LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
---	PROPERTY LINE	—●—	PROPOSED FENCE LINE
(E)	EXISTING	PA	PLANTING AREA
○	EXISTING TREES	(150)	(E) CONTOUR
		150	PROPOSED CONTOUR

PROPOSED PLANT SCHEDULE

AREA	BOTANICAL NAME	COMMON NAME	SIZE	MATURE HEIGHT	MATURE WIDTH	WUCOLS	
NATIVE TREES	<i>Aesculus californica</i>	California Buckeye	13 G	13-20 ft	15-20 ft	Very Low	
	<i>Quercus agrifolia</i>	Coast Live Oak	15 G	70 ft	80 ft	Very Low	
NATIVE SCREENING SHRUBS	<i>Arctostaphylos manzanita</i> 'Dr. Hurd'	Dr. Hurd Manzanita	15 G	12-15 ft	12-15 ft	Low	
	<i>Fremontodendron</i> 'Pacific Sunset'	Pacific Sunset Flannel Bush	5 G	10-15 ft	10-15 ft	Low	
	<i>Heteromeles arbutifolia</i>	Toyon	5 G	6-10 ft	4-6 ft	Very Low	
	<i>Myrica californica</i>	Pacific Wax Myrtle	5 G	10-15 ft	6-8 ft	Low	
	NATIVE MEADOW GRASSES	<i>Festuca fulvaensis</i> 'Tamales Bay'	Tamales Bay Idaho Fescue	plugs	1 ft	1 ft	Very Low
	<i>Festuca rubra</i> 'Wakate Blue'	Creeping Red Fescue	plugs	1 ft	1 ft	Low	
ANNUALS	<i>Castilleja essenta</i>	Owl's Clover	seed	< 12 in	< 12 in	Very Low	
	<i>Eschscholzia californica</i>	California Poppy	seed	< 12 in	< 12 in	Very Low	
	<i>Layla platyglossa</i> 'Tidy Tips'	Tidy Tips	seed	2 ft	2 ft	Very Low	
	<i>Sisyrinchium bellum</i> 'Wayne's Dwarf'	Blue Eyed Grass	seed	< 12 in	< 12 in	Very Low	
NATIVE BUTTERFLY PLANTING SHRUBS	<i>Arctostaphylos d.</i> 'Howard McMinn'	Howard McMinn Manzanita	5 G	4-6 ft	4-6 ft	Low	
	<i>Ceanothus thyrsiflorus</i>	California Lilac	5 G	3-18 ft	4-12 ft	Low	
ANNUALS & PERENNIALS	<i>Achillea millefolium</i> 'Hoffnung'	Yarrow	4" Pot	2 ft	2 ft	Moderate	
	<i>Erigeron glaucus</i>	Seaside Daisy	1 G	1 ft	1 ft	Low	
	<i>Lupinus formosus</i>	Creeping Lupine	1 G	1 ft	1-2 ft	Low	
	<i>Lupinus varicolor</i>	Mary-colored Lupine	1 G	1-2 ft	1-2 ft	Low	
	<i>Manardella villosa</i> x <i>purpurea</i>	Coyote Mint	1 G	2 ft	2 ft	Very Low	
	<i>Viola pedunculata</i>	Johnny Jump Up	4" Pot	< 12 in	< 12 in	Low	
	<i>Sedum spatulifolium</i>	Stonecrop	1 G	< 12 in	1-2 ft	Low	
	GRASSES	<i>Melica californica</i>	California Melic	1 G	2 ft	2 ft	Very Low
		<i>Nassella pulchra</i>	Purple Needle Grass	1 G	2 ft	2 ft	Very Low
	COURTYARD PLANTING BAMBOO	<i>Phyllostachya nigra</i> 'Hale'	Hale Black Bamboo	15 G	20-30 ft	10 ft	Low
<i>Chandropetalum elephantinum</i>		Large Cape Rush	5 G	4-6 ft	3-4 ft	Low	
VINE	<i>Perthoactis tricuspidata</i> 'Veitchii'	Veitchii Boston Ivy	5 G	< 12 in	10-15 ft	Moderate	
GROUND COVER	<i>Dymondia margarita</i>	Silver Carpet	flats	< 12 in	1-2 ft	Very Low	
NATIVE PERENNIAL PLANTING SHRUBS	<i>Romneya coulteri</i>	Matilija Poppy	5 G	4-6 ft	6-8 ft	Very Low	
	<i>Arctostaphylos uva-ursi</i> 'Paint Reyes'	Paint Reyes Bearberry	1 G	1 ft	4-6 ft	Low	
GROUND COVER	<i>Festuca californica</i>	California Fescue	4" Pot	1-2 ft	1-2 ft	Low	

*WUCOLS Water Use Classification of Landscape Species

MATERIAL NOTES

- USE LOCAL AND REGIONAL MATERIALS, AND USE RECYCLED AND SALVAGED MATERIALS WHENEVER POSSIBLE. ALL MATERIALS TO COME FROM MAX. 500 MILES FROM SITE.
- USE MATERIALS WITH A LONG LIFE SPAN.
- ALL CONCRETE TO CONTAIN 30-50% FLYASH OR OTHER POST CONSUMER EQUIVALENT. ALL COLOR PIGMENTS TO BE NATURAL.
- RECYCLE UNUSED CONSTRUCTION MATERIALS BY DROPPING AT LOCAL SALVAGE YARDS. AVOID LANDFILL DEPOSITS AS MUCH AS POSSIBLE. ASK LANDSCAPE ARCHITECT FOR LIST OF SALVAGE DROP PLACES.
- GRIND ALL HEALTHY WOODY SHRUBS AND TREES THAT HAVE BEEN REMOVED FROM SITE; AND NON PRESSURE TREATED WOOD SCRAPS FOR PLANTING MULCH IN PLANTING AREAS. GRIND ON SITE. ADDITIONAL WOOD MULCH TO MATCH SIZE AND TEXTURE.
- ALL PAINTS AND STAINS TO BE WATER BASED AND FREE OF HARMFUL CHEMICALS OR OFF GASES WHEN APPLIED. SUBMIT PRODUCT CUT SHEETS PRIOR TO INSTALLATION.
- ESTIMATED FILL = 20 CUBIC YARDS
ESTIMATED REMOVAL = 1038 CUBIC YARDS

GENERAL IRRIGATION PERFORMANCE NOTES

- ALL PLANTS TO RECEIVE WATER CONSERVING DRIP EMITTERS AND TREE BUBBLERS FOR TREES. THERE ARE TO BE SUFFICIENT VALVES TO ACCOMMODATE THE DIFFERENT WATER REQUIREMENTS FOR PLANTS WITH DIFFERENT EXPOSURES AND PLANT TYPES.

- DRIP SYSTEM TO BE INSTALLED WITH A PRESSURE-REDUCING DEVICE.
- THE MEADOW WILL BE WATERED WITH SPRINKLERS. USE WATER SAVING MP ROTATOR SPRINKLERS.
- IRRIGATION SYSTEM SHALL BE COMPRISED OF AUTOMATICALLY CONTROLLED VALVES ON AN AUTOMATIC CONTROL SYSTEM. CONTROLLER TO BE A WATER CONSERVING E.T. CONTROLLER WITH RAIN SHUT OFF DEVICE: WEATHERTRAK ET PRO2 BY HYDROPOINT 800.362.8774
- ALL EQUIPMENT REQUIRED SHALL BE PROVIDED TO INSURE A COMPLETE AND FUNCTIONAL SYSTEM. INSTALL ALL EQUIPMENT IN ACCORDANCE WITH ALL LOCAL CODES AND MANUFACTURER'S INSTRUCTIONS. AVOID ANY CONFLICTS BETWEEN THE IRRIGATION SYSTEM, PLANTING OR ARCHITECTURAL FEATURES.

- DOMESTIC WATER SUPPLY TO BE PROTECTED FROM THE IRRIGATION SYSTEM CONNECTION VIA A DOUBLE CHECK ANTI-SIPHON VALVE PER CITY AND STATE REQUIREMENTS.
- PERMANENT IRRIGATED AREA: APPROX. 9,735 SQ FT
TEMPORARY IRRIGATION: APPROX 2,300 SQ FT.

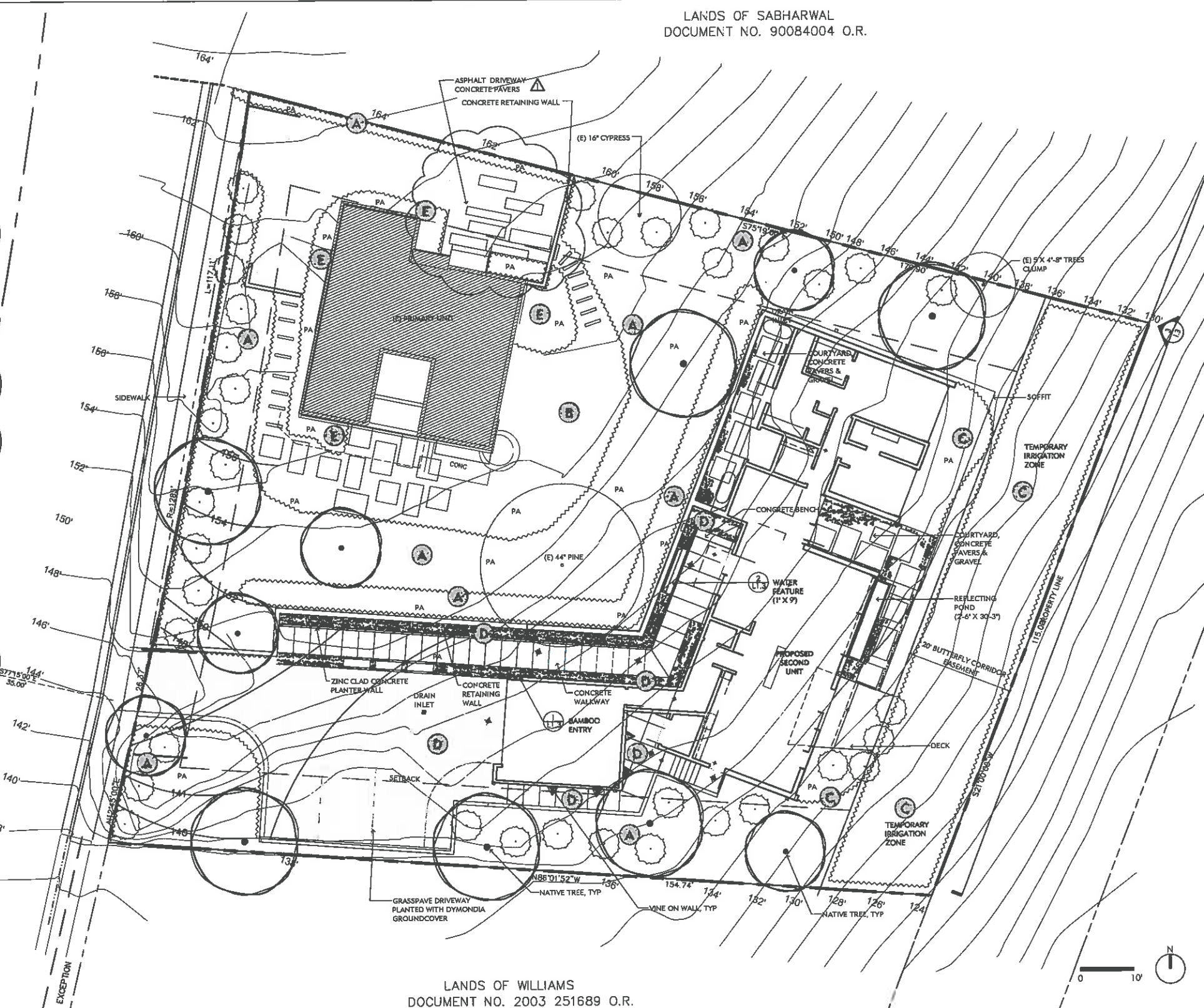
FIRESCAPE AND MAINTENANCE

- PLANTING SHALL BE FIRE RESISTANT AND FIRE RETARDANT WITHIN 100' OF THE HOUSE, OR TO THE PROPERTY LINE, WHICHEVER IS CLOSEST.
- WHEN TREES REACH A HEIGHT OF 25', REMOVE LOWER BRANCHES BELOW 8'.
- ASSURE THAT FIRE LADDERS ARE TRIMMED AND REMOVED BY REMOVING DEAD BRANCHES, FLAMMABLE UNDERGROUNDS AND WOODY DEBRIS.

- MAINTAIN SEPARATION BETWEEN SHRUBS AND TREES. TREES: MINIMUM 10' BETWEEN TREE CANOPIES, SHRUBS: MINIMUM TWICE THE CANOPY HEIGHT BETWEEN SHRUB AND SHRUB CLUMP.
- FLUSH, TEST AND FIX IRRIGATION SYSTEM ONCE A YEAR IN SPRING.
- FERTILIZE TWICE A YEAR WITH ORGANIC FERTILIZERS.
- CUT DOWN NON-NATIVE GRASSES & PERENNIALS IN THE BUTTERFLY CORRIDOR BEFORE THEY SEED IN SPRING.
- KEEP THE LANDSCAPE NEAR THE HOUSE WELL WATERED AND FREE OF DEADWOOD AND DEBRIS.

GENERAL NOTES

- REFERENCE TO NORTH REFERS TO TRUE NORTH. REFERENCE TO SCALE APPLIES TO FULL-SIZED DRAWINGS ONLY. DO NOT SCALE FROM REDUCED DRAWINGS.
- ALL INVASIVE PLANTS SHALL BE REMOVED FROM THE SITE.
- PROPOSED PLANTS ARE FIRE AND DEER RESISTANT, LOW WATER USE AND MOSTLY NATIVE. PLANTS IN THE BUTTERFLY CORRIDOR ARE HOST AND NECTAR PLANTS FOR THE FOLLOWING BUTTERFLIES: MISSION BLUE, CALLIPPE SILVERSPOT AND SAN BRUNO ELFIN.
- REMOVAL OF ANY EXISTING NATIVE OAK FROM SITE DUE TO CONSTRUCTION SHALL BE MITIGATED BY THE PLANTING OF (3) NEW NATIVE OAK TREES.
- CONCRETE RETAINING WALL BETWEEN UNITS HAS LINEAR RECESSED LIGHT PANELS AND A 2 FT TALL PLANTER WITH BAMBOO AT ITS BASE.



SHADES OF GREEN LANDSCAPE ARCHITECTURE
222C PINE STREET SAN SALITO, CA
7412 352 1422 104@shadesofgreen.com



PROJECT:
88 THOMAS AVENUE
Brisbane, California

REVISIONS:

NO.	DATE	DESCRIPTION
01/01/2015		LANDSCAPE PLAN REV
02/04/2015		LANDSCAPE PLAN REV
12/15/2015		PLANNING APPLICATION DESIGN REVIEW
03/01/2016		PLANNING REVISION

DRAWING TITLE:
LANDSCAPE PLAN

PROJECT NO.:
SCALE:
AS SHOWN
DRAWN BY:
REVIEWED BY:
ISSUE DATE:

DRAWING NO.:
L1.1



PROJECT:
88 THOMAS AVENUE
 Brisbane, California

REVISIONS:

NO.	DATE	DESCRIPTION
07/01/2019		LANDSCAPE ELEVATIONS
07/06/2019		LANDSCAPE ELEVATIONS
12/15/2019		PLANNING APPLICATION CORRECTIONS
08/12/2018		PLANNING REVISION

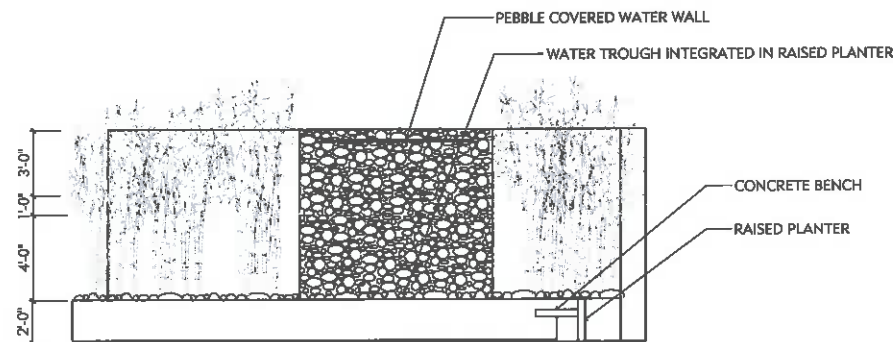
DRAWING TITLE:
LANDSCAPE ELEVATIONS

PROJECT NO:
 18
 SCALE:
 AS SHOWN
 DRAWN BY:
 E
 REVIEWED BY:
 M
 ISSUE DATE:

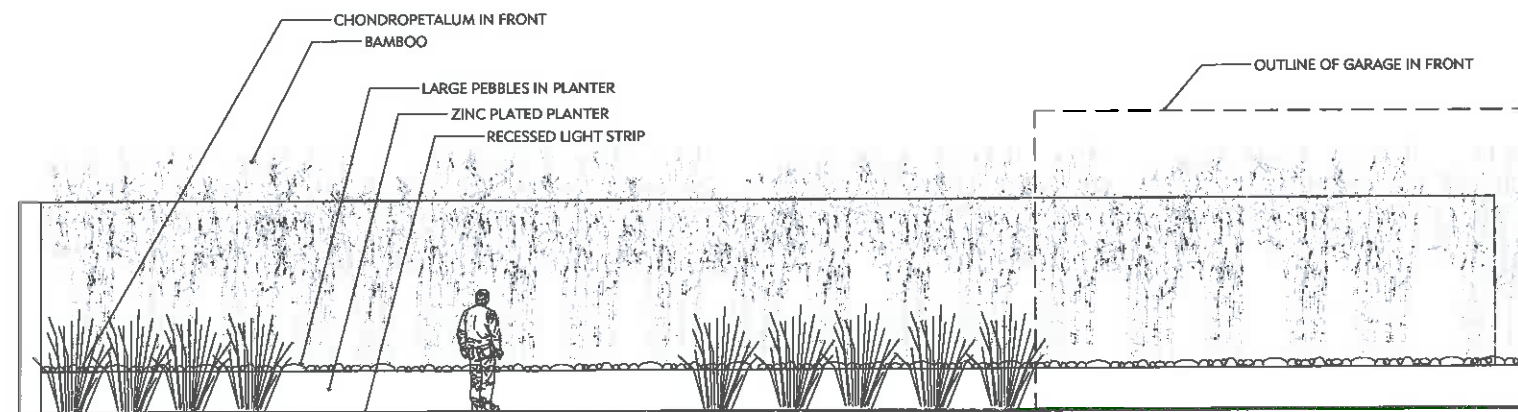
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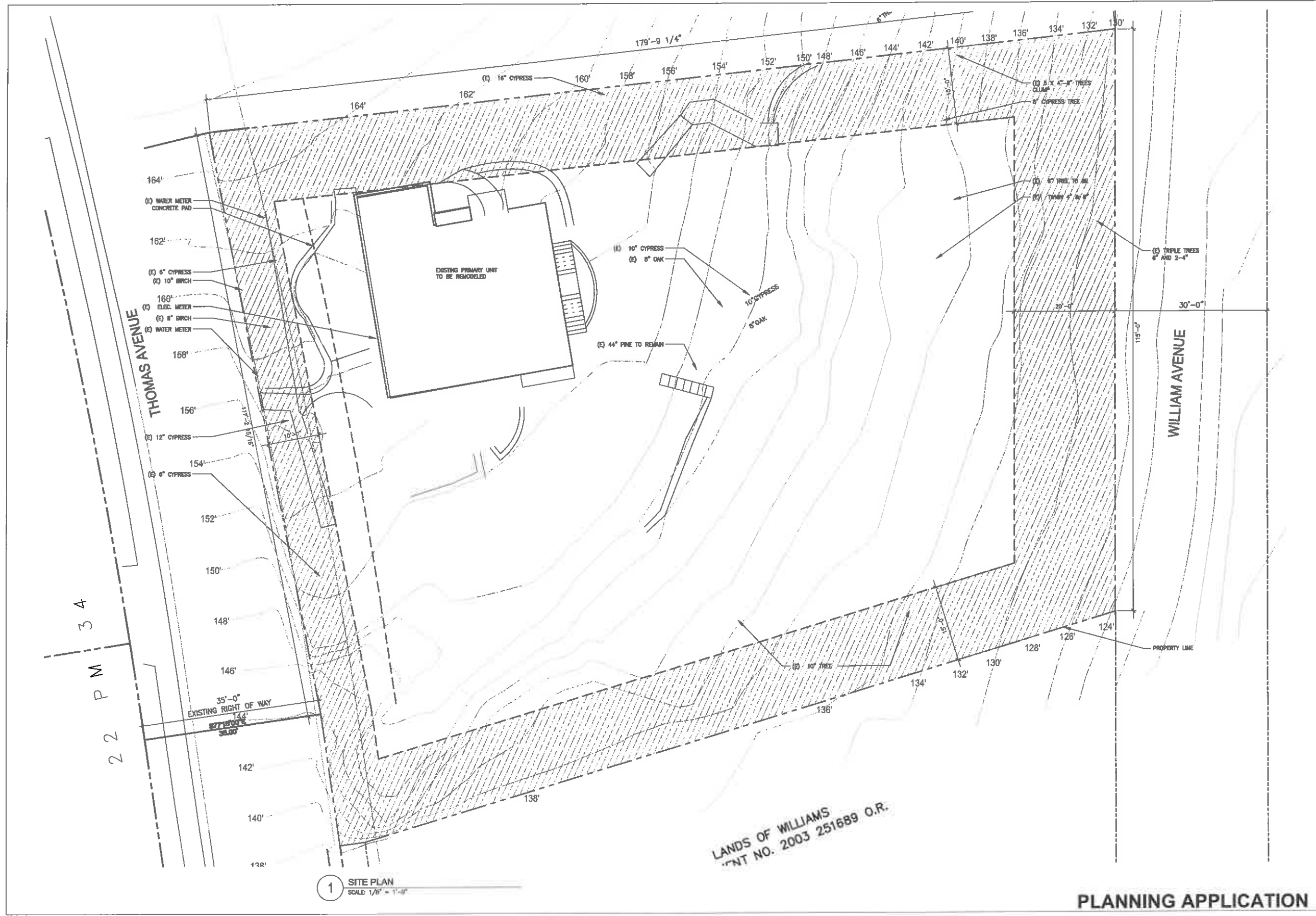
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 1/8" = 1'-0"



2 ENTRY WATER FEATURE
 1/4" = 1'-0"



1 BAMBOO ENTRY
 1/4" = 1'-0"



1 SITE PLAN
SCALE: 1/8" = 1'-0"



DATE REVISION	
PLANNING SUBMITTAL	02/28/2014
PLANNING SUBMITTAL	03/04/14
PLANNING SUBMITTAL	03/05/14
PLANNING HEARING	03/05/14

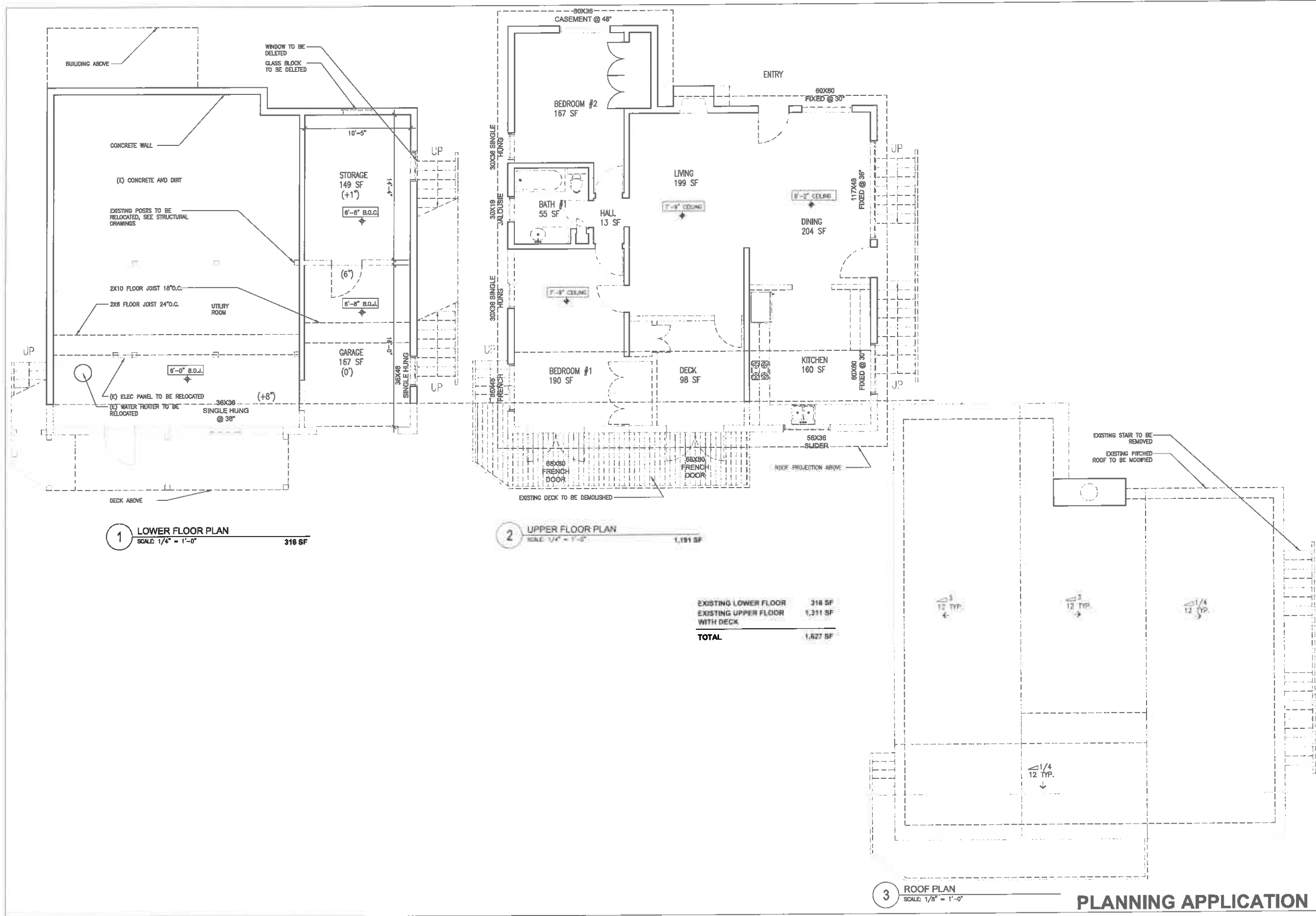


PROJECT
88 THOMAS AVENUE
DUBLIN, CA 94568

REVISION TITLE
EXISTING SITE PLAN

PROJECT
AE1.0

PLANNING APPLICATION

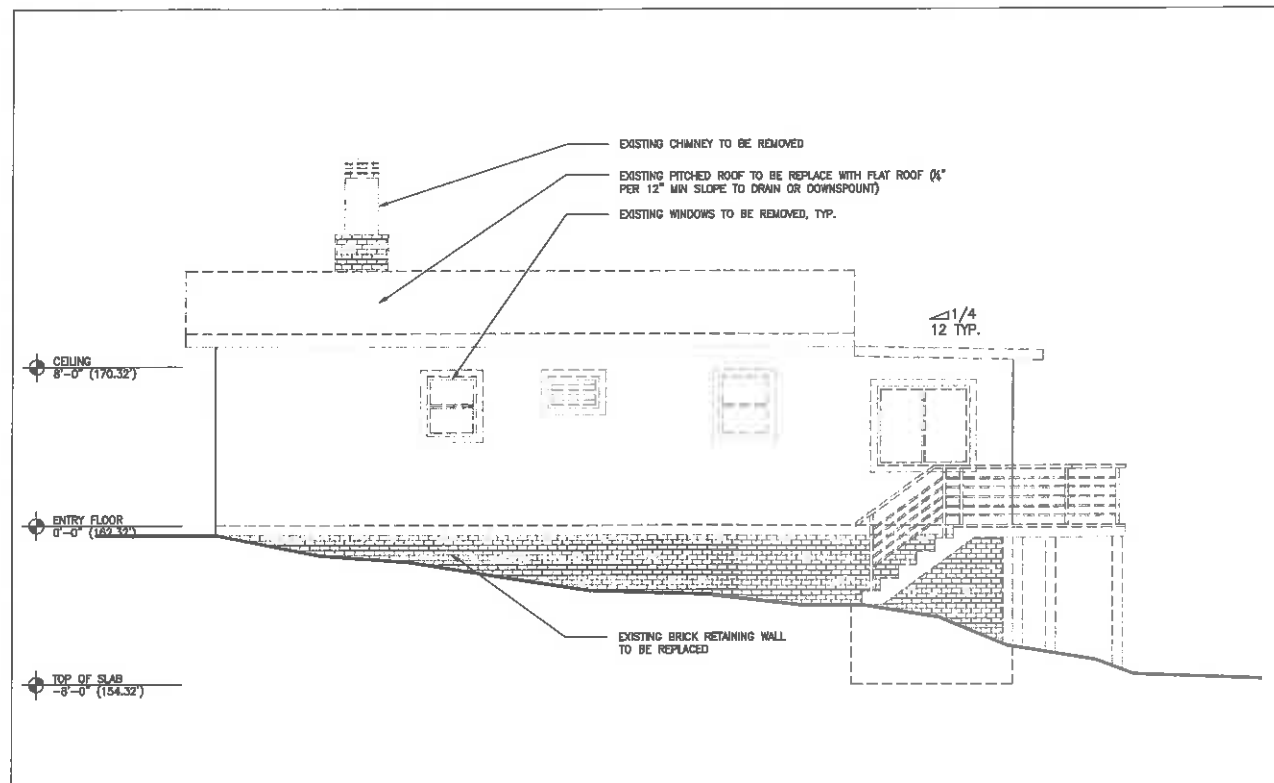


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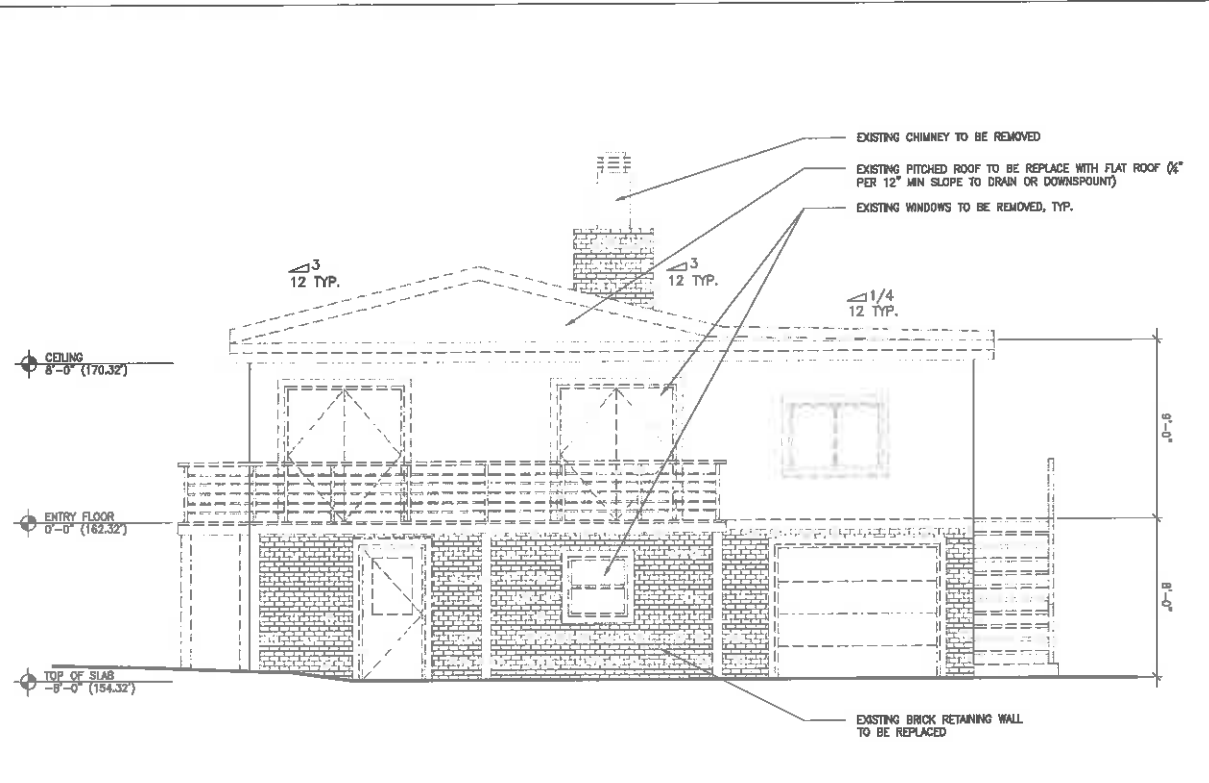


PROJECT
 88 THOMAS AVENUE
 BERKELEY
 CA 94702

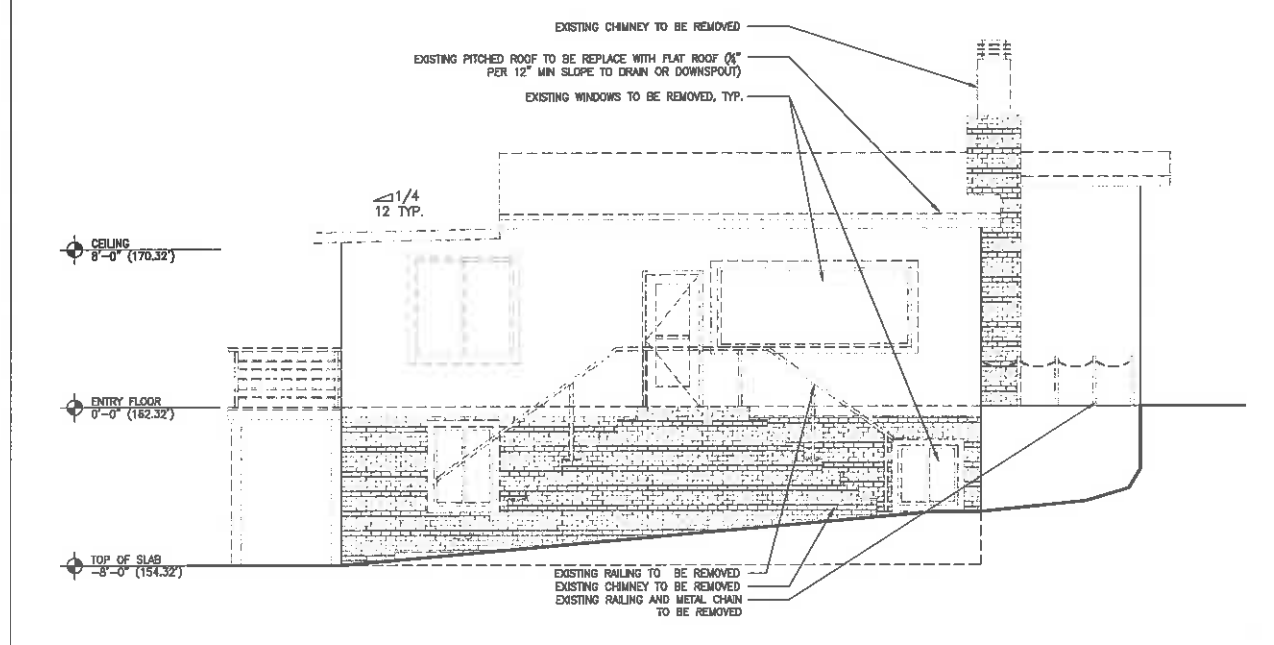
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 EXISTING / DEMO
 PLAN
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 (SECONDARY UNIT)



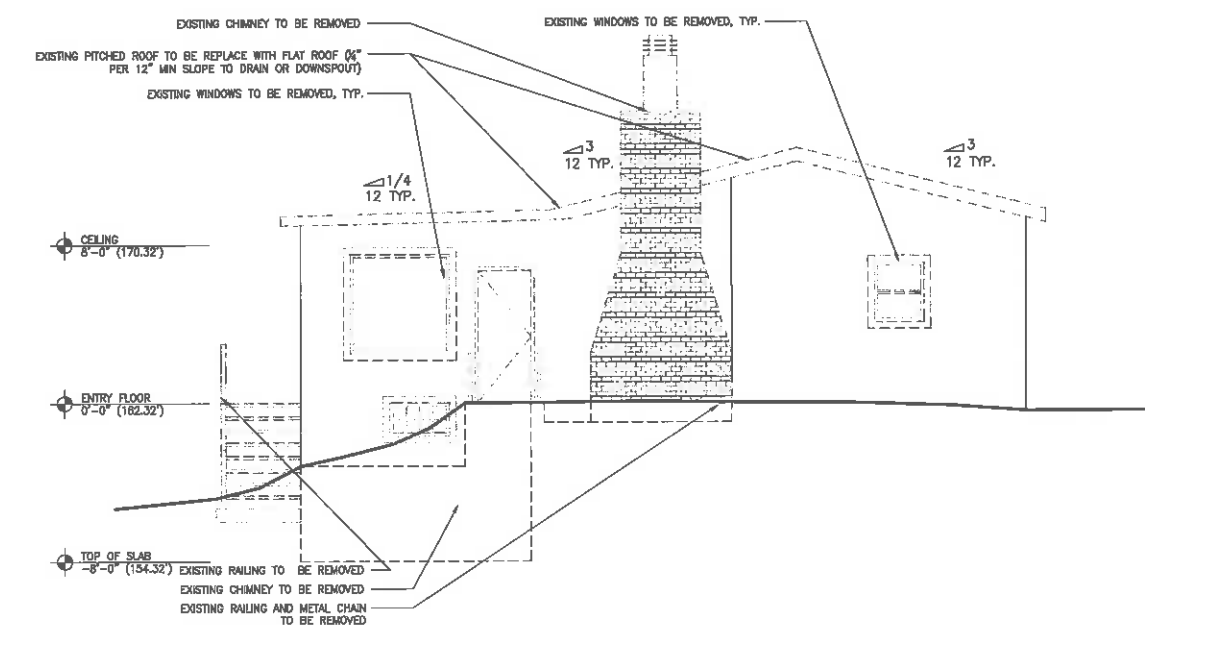
1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3 EAST ELEVATION
SCALE: 1/4" = 1'-0"



4 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

ARCHITECT

WING LEE ARCHITECTS
 1403 Hudson Avenue
 San Francisco CA 94124
 T 415.297.6493
 www.leeearchitect.com

ISSUE	RECORD DATE
PLANNING SUBMITTAL	12/06/15
PLANNING RESUBMITTAL	7/20/16
PLANNING RESUBMITTAL	8/20/16
PLANNING HEARING	8/22/15



PROJECT
 68 THOMAS AVENUE
 BRISBANE
 CA 94005

DRAWING TITLE
 EXISTING / DEMO
 DWELLING 1
 (SECONDARY UNIT)

SHEET

PLANNING APPLICATION AE3.0

ARCHITECT



WING LEE ARCHITECTS
1403 Hudson Avenue
San Francisco CA 94124
T 415.207.8493
www.wingleea.com

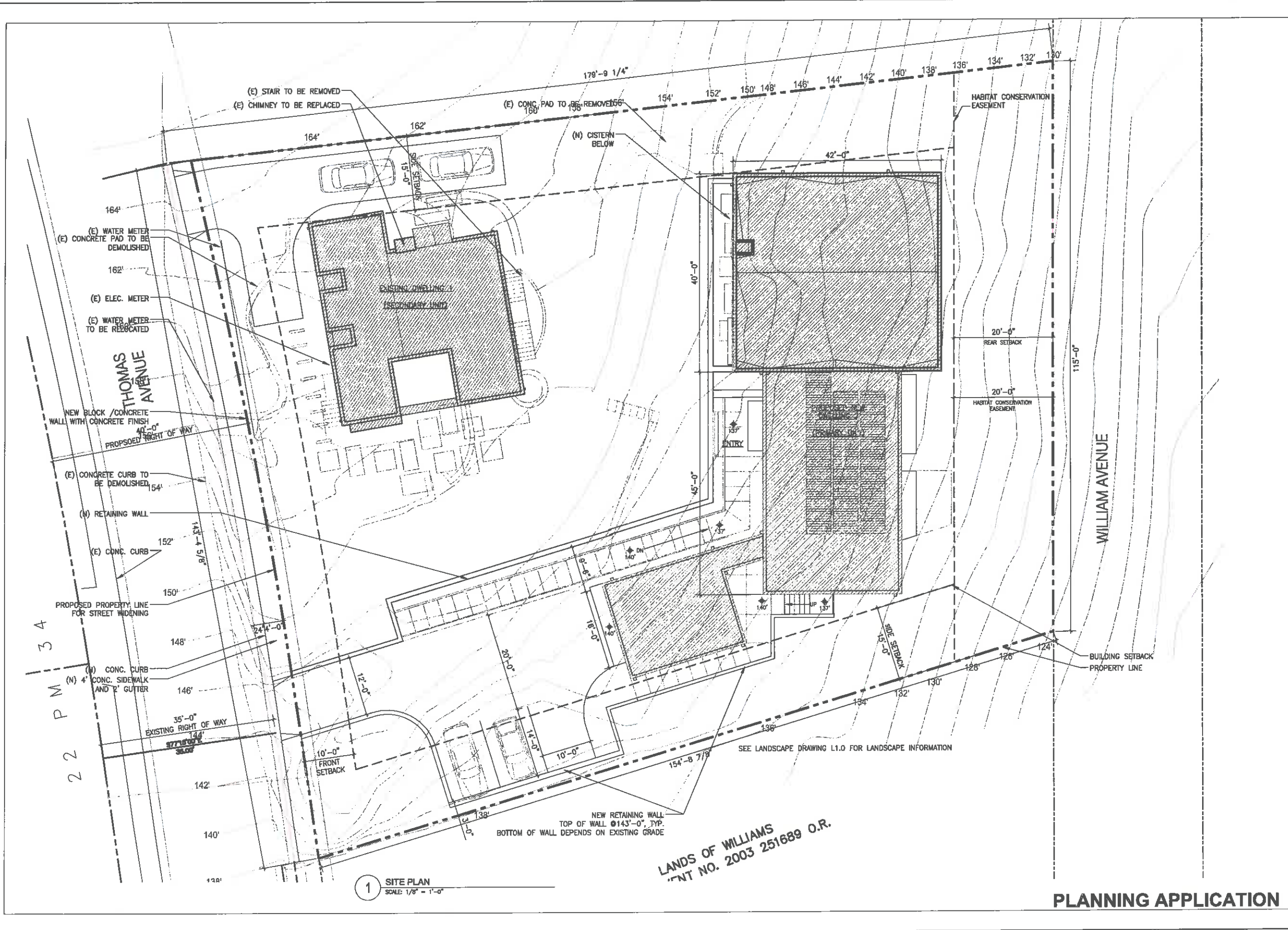
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PLANNING SUBMITTAL	10/20/16
PLANNING RESUBMITTAL	7/28/16
PLANNING RESUBMITTAL	04/20/16
PLANNING HEARING	02/25/16



PROJECT
88 THOMAS AVENUE
BRISBANE
CA 94005

DRAWING TITLE
PROPOSED SITE
PLAN

SHEET
A-1.0

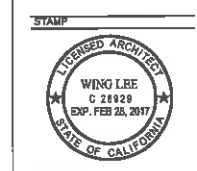


1 SITE PLAN
SCALE: 1/8" = 1'-0"

LANDS OF WILLIAMS
TRNT NO. 2003 251689 O.R.

PLANNING APPLICATION

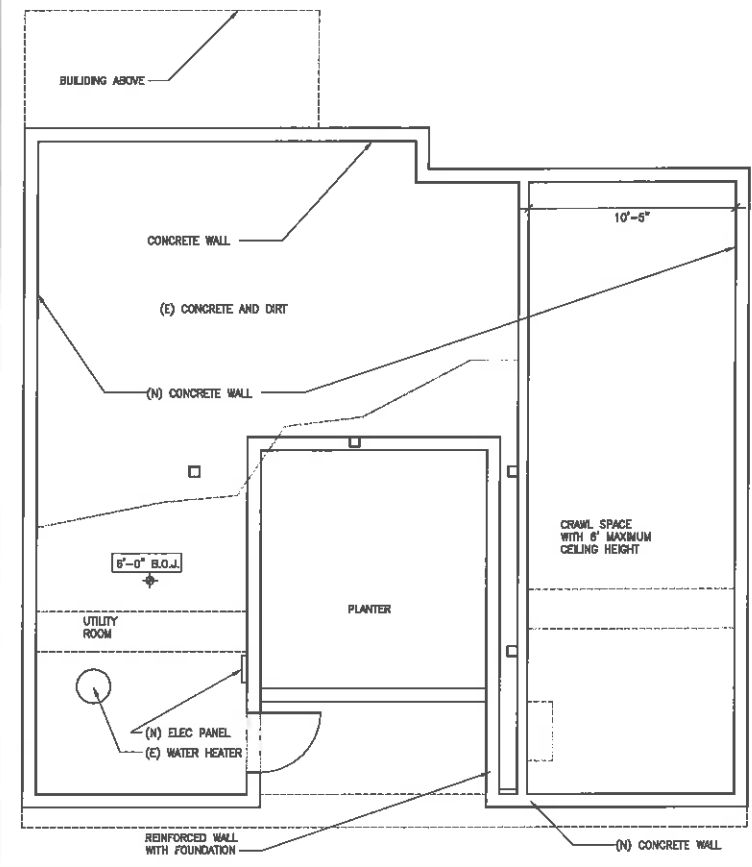
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PLANNING HEARING 04020716



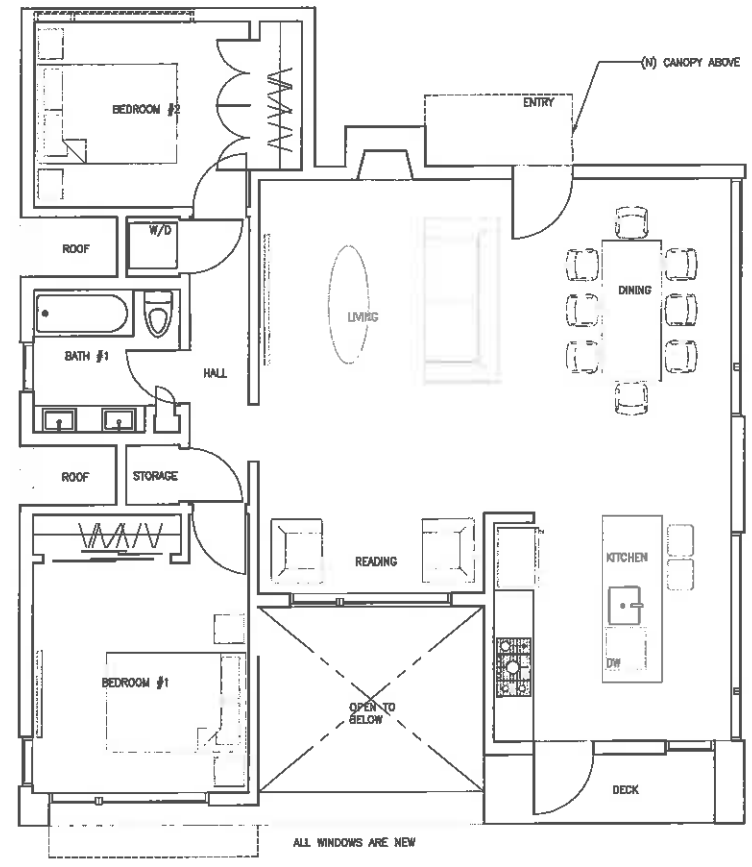
PROJECT
 88 THOMAS AVENUE
 BRISBANE
 CA 94005

DRAWING TITLE
 PROPOSED
 PLAN
 DWELLING 1
 (SECONDARY UNIT)

SHEET
A-1.2

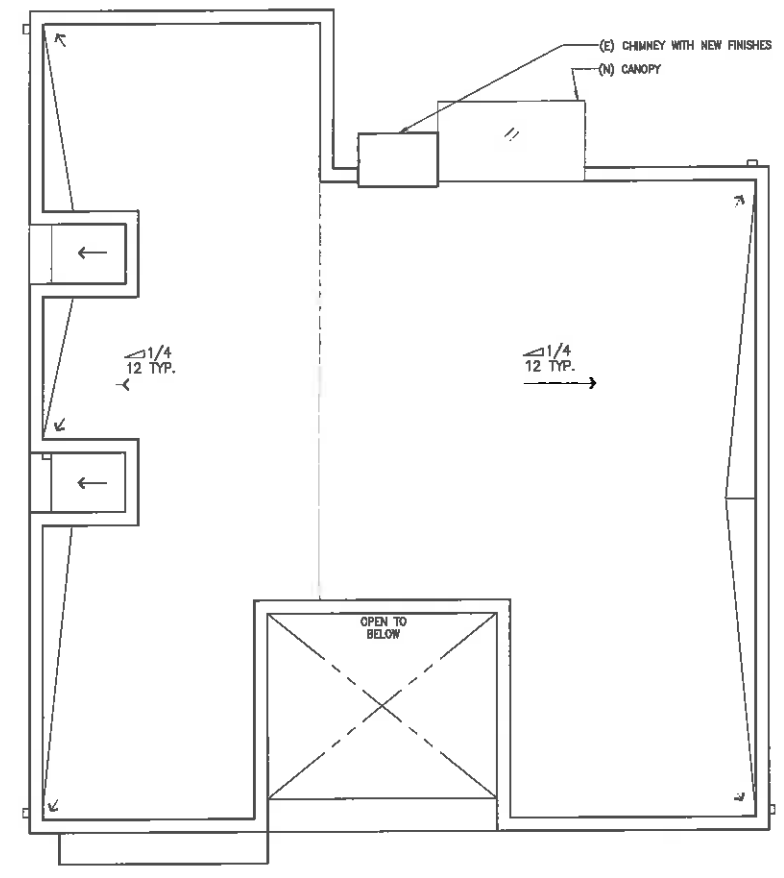


1 CRAWL SPACE LEVEL
 SCALE: 1/4" = 1'-0" **0 GSF**



2 UPPER FLOOR PLAN
 SCALE: 1/4" = 1'-0" **987 GSF**

PROPOSED CRAWL SPACE	0 SF
PROPOSED UPPER FLOOR	987 GSF
TOTAL	987 GSF



3 ROOF PLAN
 SCALE: 1/4" = 1'-0" **ALL EXISTING WINDOWS TO BE REPLACED WITH DOUBLE-PANED WINDOW SYSTEM**

3 ROOF PLAN
 SCALE: 1/4" = 1'-0"

PLANNING APPLICATION

ARCHITECT



WING LEE ARCHITECTS
1403 Hudson Avenue
San Francisco CA 94124
T 415.207.8483
www.winglee.com

ISSUE RECORD/DATE

PLANNING SUBMITTAL	02/20/2015
PLANNING RESUBMITTAL	7/20/2016
PLANNING RESUBMITTAL	08/20/16
PLANNING HEARING	8/22/2016

STAMP



PROJECT

88 THOMAS AVENUE
BRISBANE
CA 94005

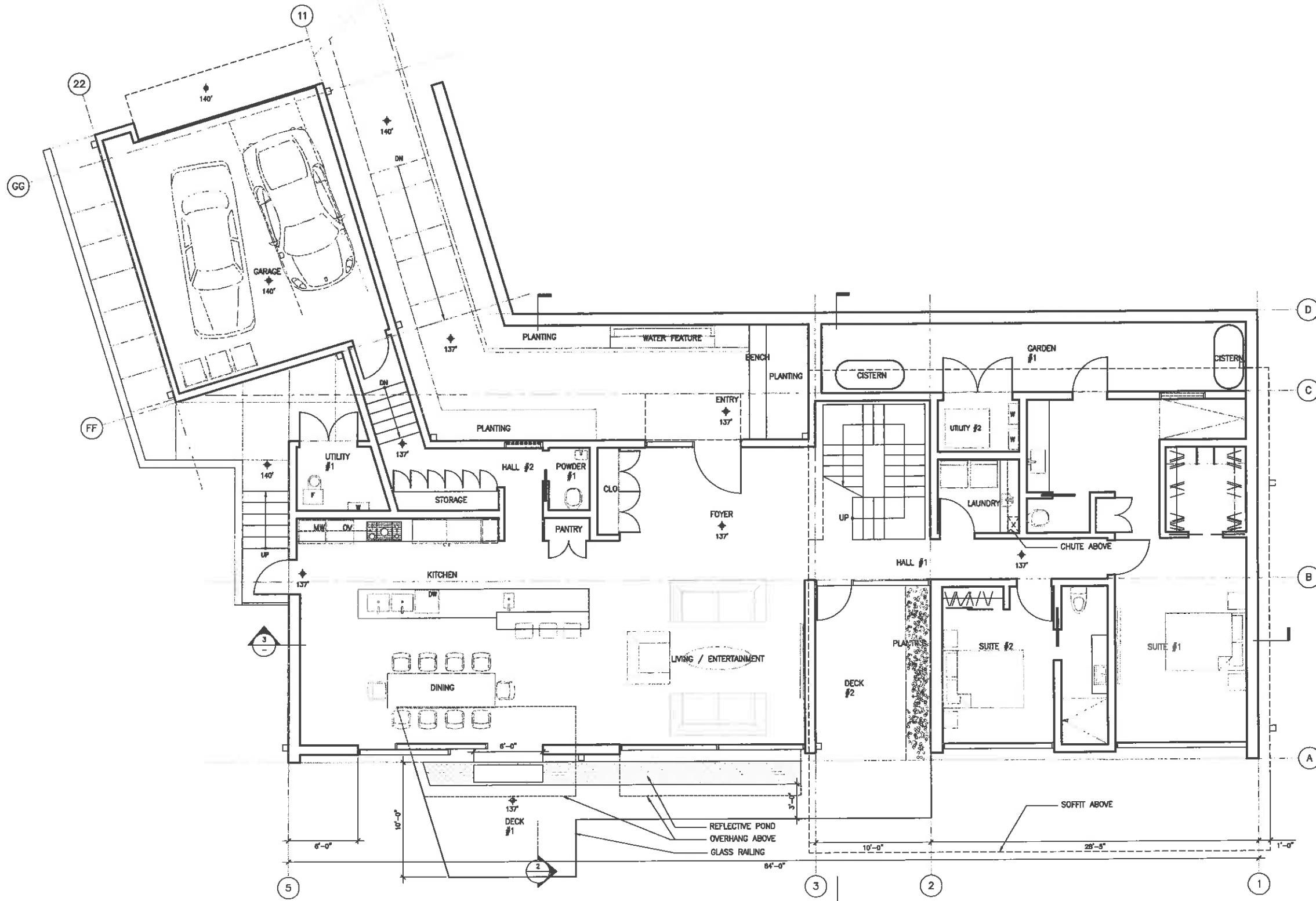
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PROPOSED
GROUND FLOOR PLAN
DWELLING 2
(PRIMARY UNIT)

SHEET

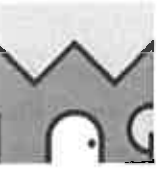
A-2.1

PLANNING APPLICATION



1 GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0" 2,860 SF

ARCHITECT



WING LEE ARCHITECTS
1403 Hudson Avenue
San Francisco CA 94124
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ISSUE	RECORD	DATE
PLANNING SUBMITTAL	1200/015	
PLANNING RESUBMITTAL	709/016	
PLANNING RESUBMITTAL	W50019	
PLANNING HEARING	022/016	

STAMP



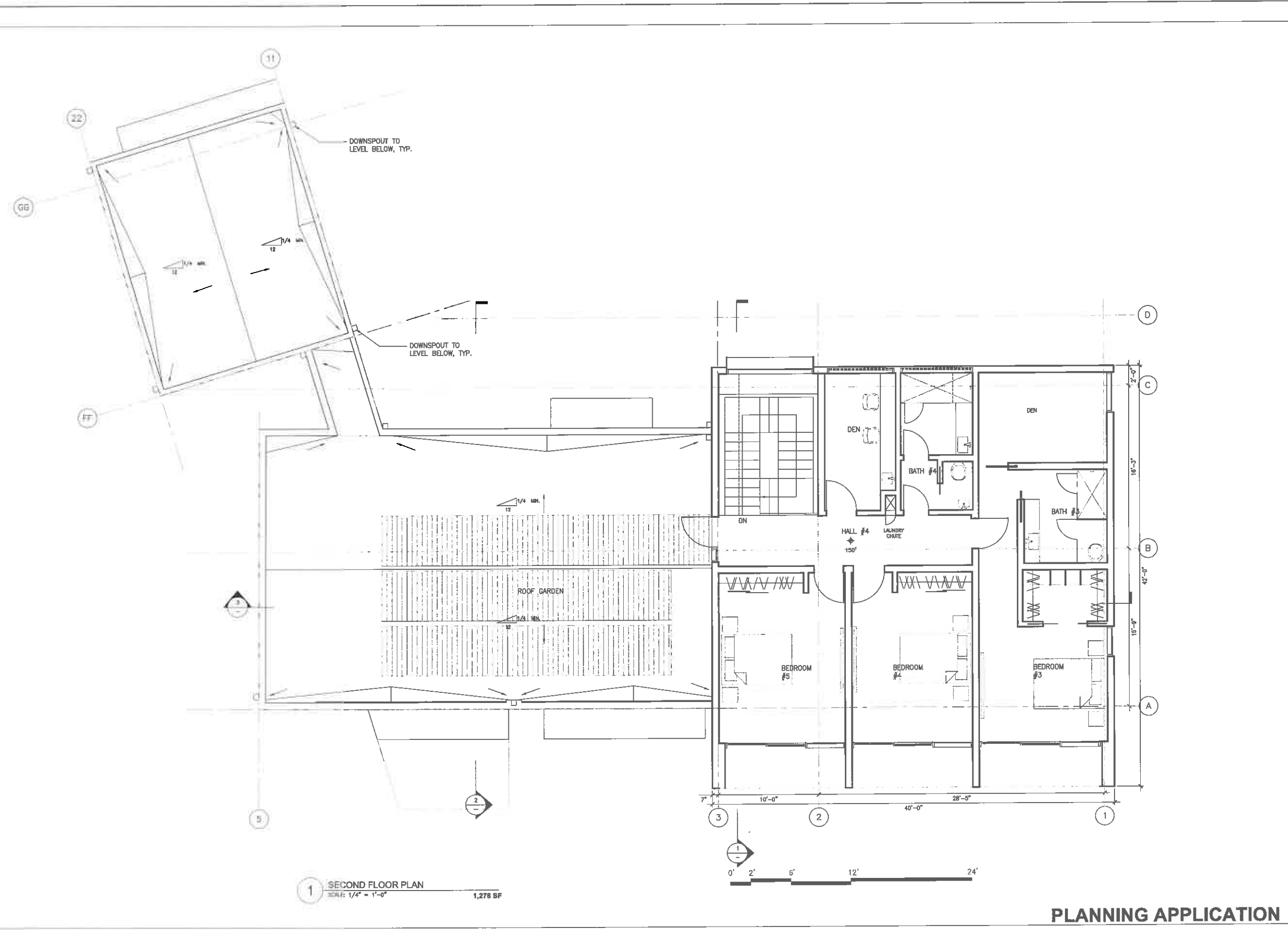
PROJECT
88 THOMAS AVENUE
BRISBANE
CA 94005

DRAWING TITLE
PROPOSED
SECOND FLOOR PLAN
DWELLING 2
(PRIMARY UNIT)

SHEET
A-2.2



PLANNING APPLICATION



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
1,278 SF



ISSUE RECORD/DATE
PLANNING SUBMITTAL 15/05/2015
PLANNING RESUBMITTAL 17/08/2015
PLANNING RESUBMITTAL 04/2016
PLANNING HEARING 02/29/16

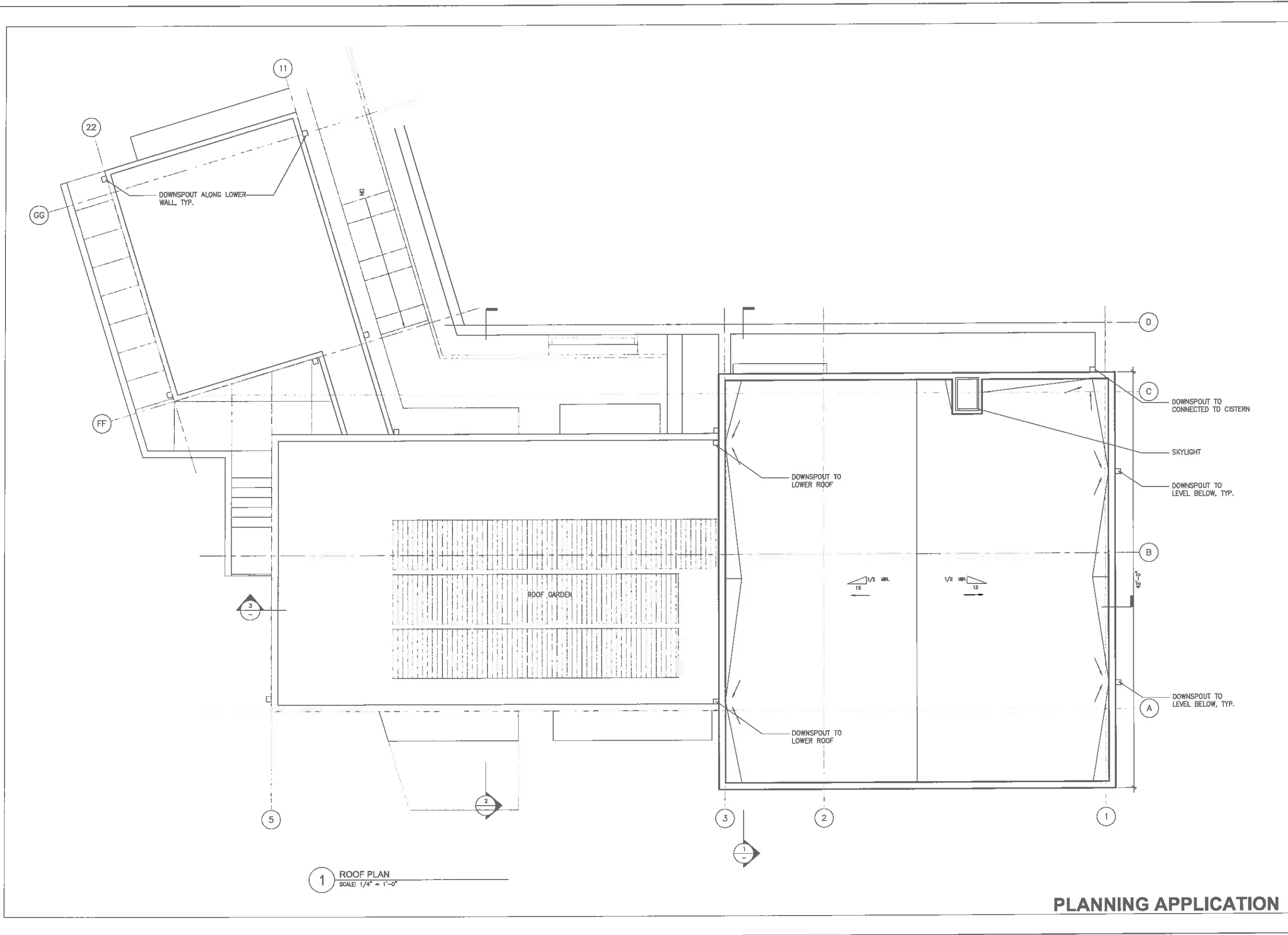


PROJECT
 88 THOMAS AVENUE
 BRISBANE
 CA 94005

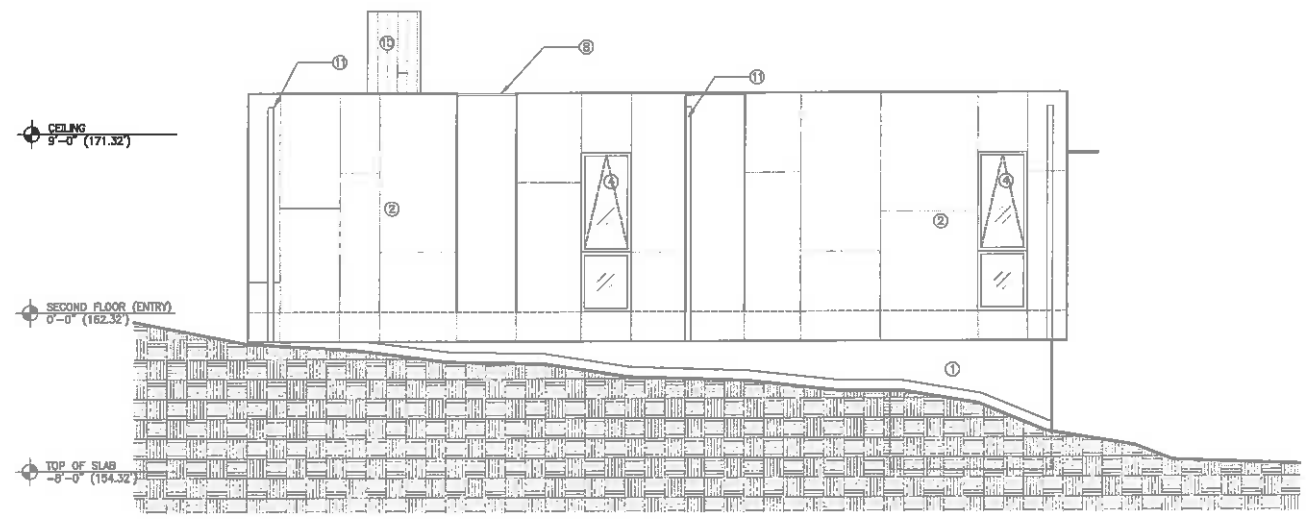
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 PROPOSED
 ROOF PLAN
 DWELLING 2
 (PRIMARY UNIT)

SHEET
A-2.3

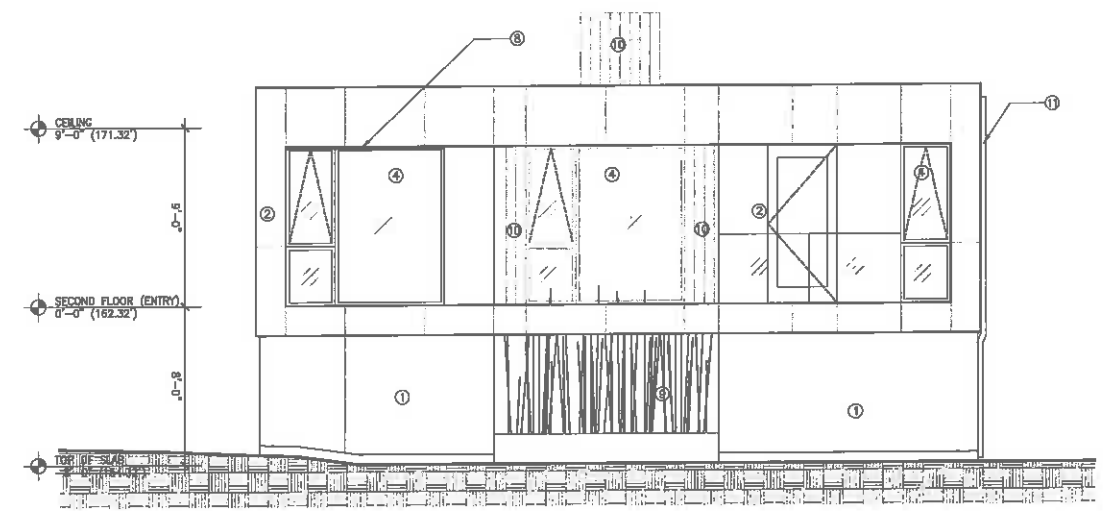
PLANNING APPLICATION



1 ROOF PLAN
 SCALE: 1/4" = 1'-0"

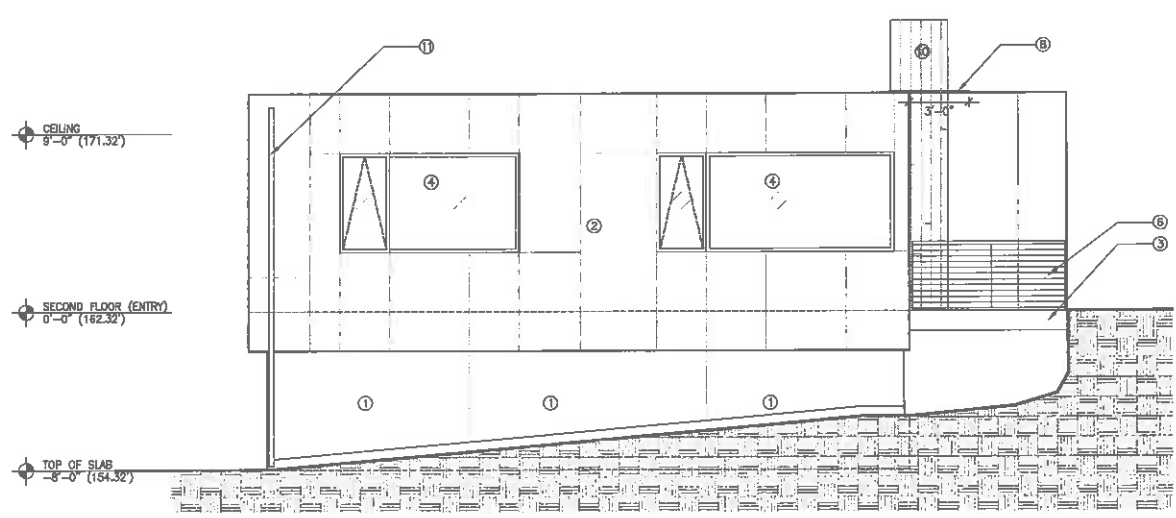


1 WEST ELEVATION
 SCALE: 1/4" = 1'-0" **316 SF**

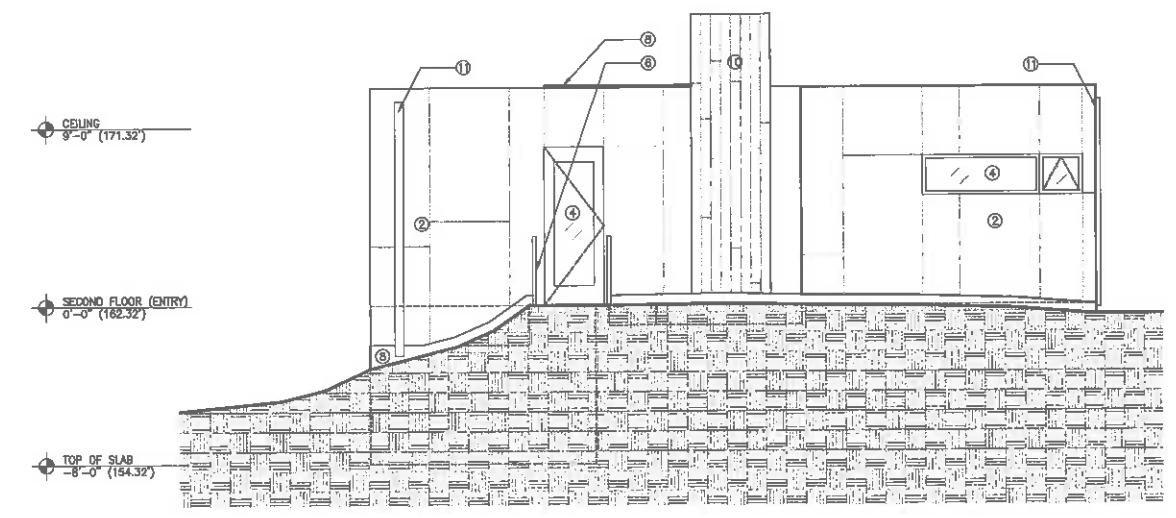


2 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

- ① NATURAL FIBER POLYMER COMPOSITE PANELS
- ② CEMENT STUCCO FINISH
- ③ PAINTED METAL CANOPY
- ④ PAINTED ALUMINUM WINDOW AND DOOR SYSTEM
- ⑤ STAINLESS STEEL RAIL CAP
- ⑥ CLEAR TEMPERED GLASS RAILING SYSTEM
- ⑦ STAIR BEYOND
- ⑧ FIBER CEMENT PANEL (RAINSCREEN SYSTEM)
- ⑨ CISTERN
- ⑩ LANDSCAPE
- ⑪ ARCHITECTURAL CONCRETE FINISH
- ⑫ PAINTED METAL GARAGE DOOR

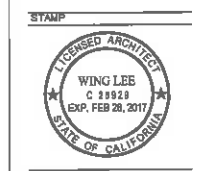


3 EAST ELEVATION
 SCALE: 1/4" = 1'-0" **316 SF**



4 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

ISSUE	RECORD/DATE
PLANNING SUBMITTAL	12/20/15
PLANNING REURMITTAL	7/20/16
PLANNING REURMITTAL	8/2/16
PLANNING HEARING	5/23/16



PROJECT
 88 THOMAS AVENUE
 BRISBANE
 CA 94005

DRAWING TITLE
 PROPOSED
 ELEVATIONS
 DWELLING 1
 (SECONDARY UNIT)

SHEET
A-3.0

PLANNING APPLICATION

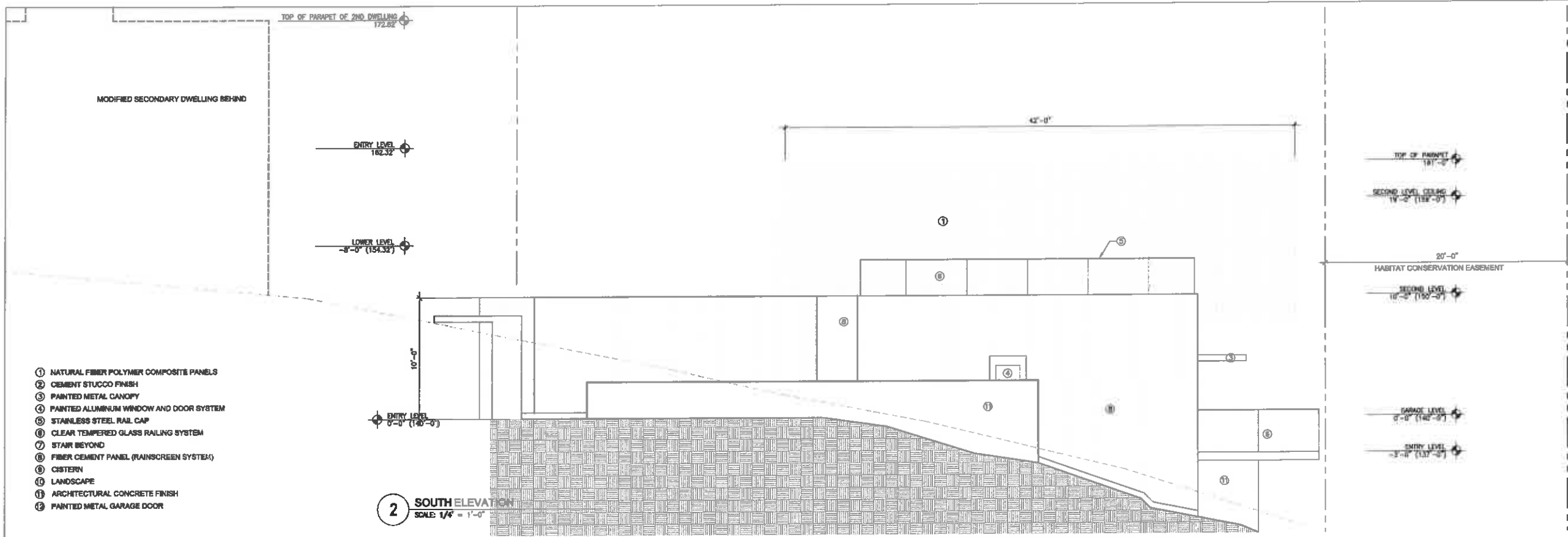
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PLANNING SUBMITAL 12/20/18
PLANNING SUBMITAL 12/20/18
PLANNING SUBMITAL 03/01/19
PLANNING SUBMITAL 03/01/19



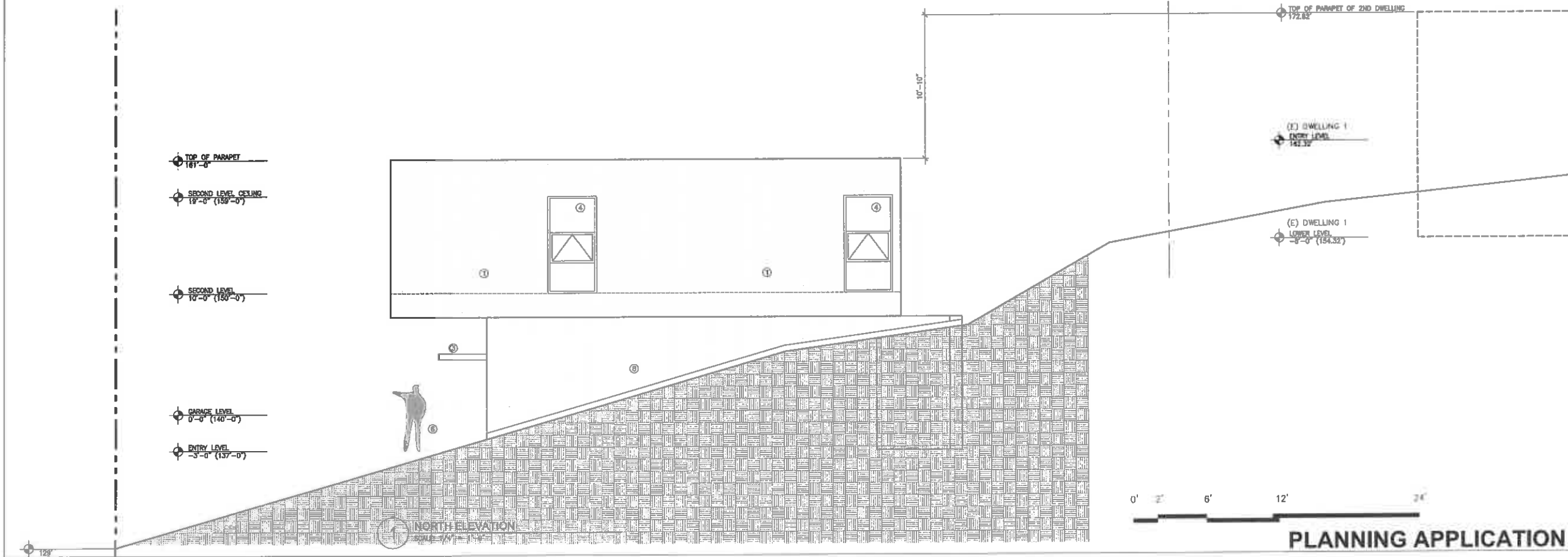
PROJECT
 88 THOMAS AVENUE
 BIRSBANE
 CA 94005

DATEWISE TITLE
 PROPOSED
 ELEVATIONS
 DWELLING 2
 (PRIMARY UNIT)

SHEET
A-3.1



2 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

PLANNING APPLICATION

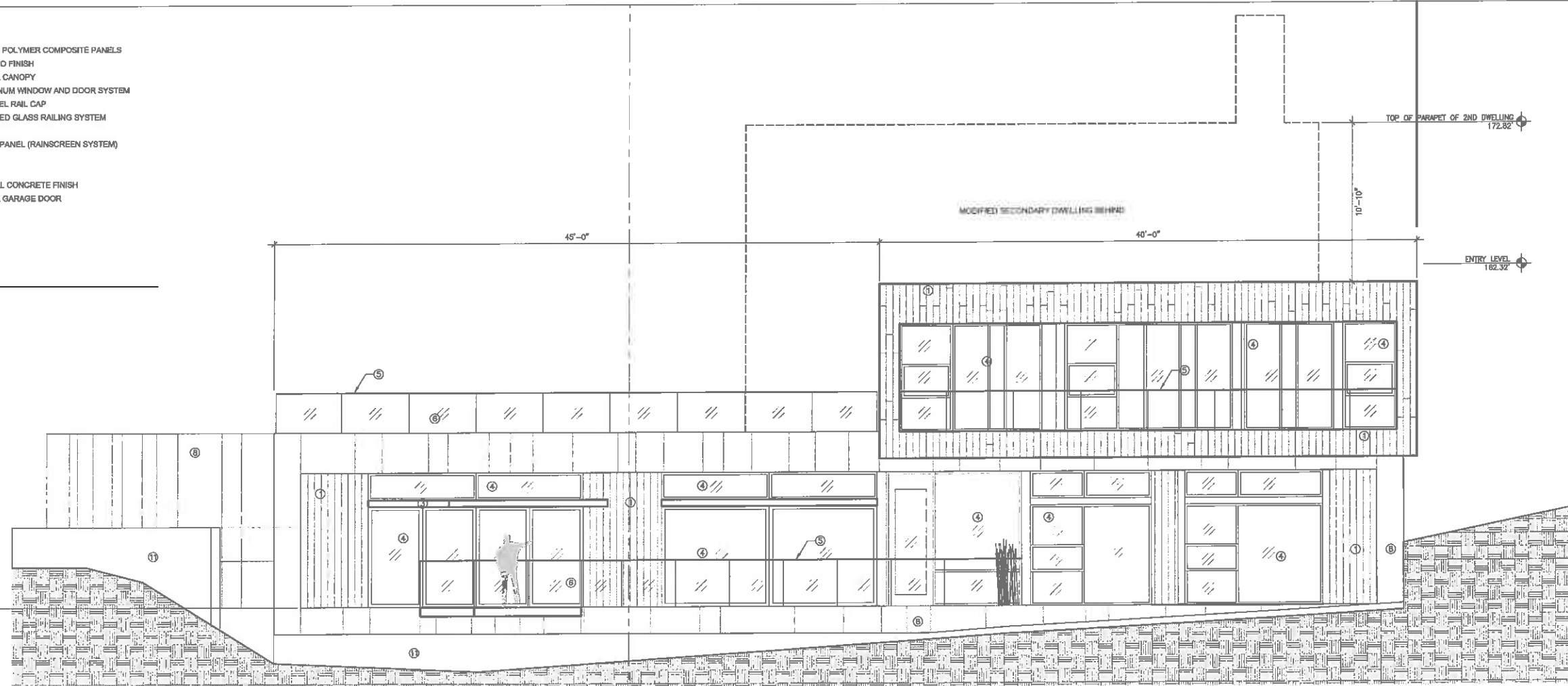
- ① NATURAL FIBER POLYMER COMPOSITE PANELS
- ② CEMENT STUCCO FINISH
- ③ PAINTED METAL CANOPY
- ④ PAINTED ALUMINUM WINDOW AND DOOR SYSTEM
- ⑤ STAINLESS STEEL RAIL CAP
- ⑥ CLEAR TEMPERED GLASS RAILING SYSTEM
- ⑦ STAIR BEYOND
- ⑧ FIBER CEMENT PANEL (RAINSCREEN SYSTEM)
- ⑨ CISTERN
- ⑩ LANDSCAPE
- ⑪ ARCHITECTURAL CONCRETE FINISH
- ⑫ PAINTED METAL GARAGE DOOR

ARCHITECT



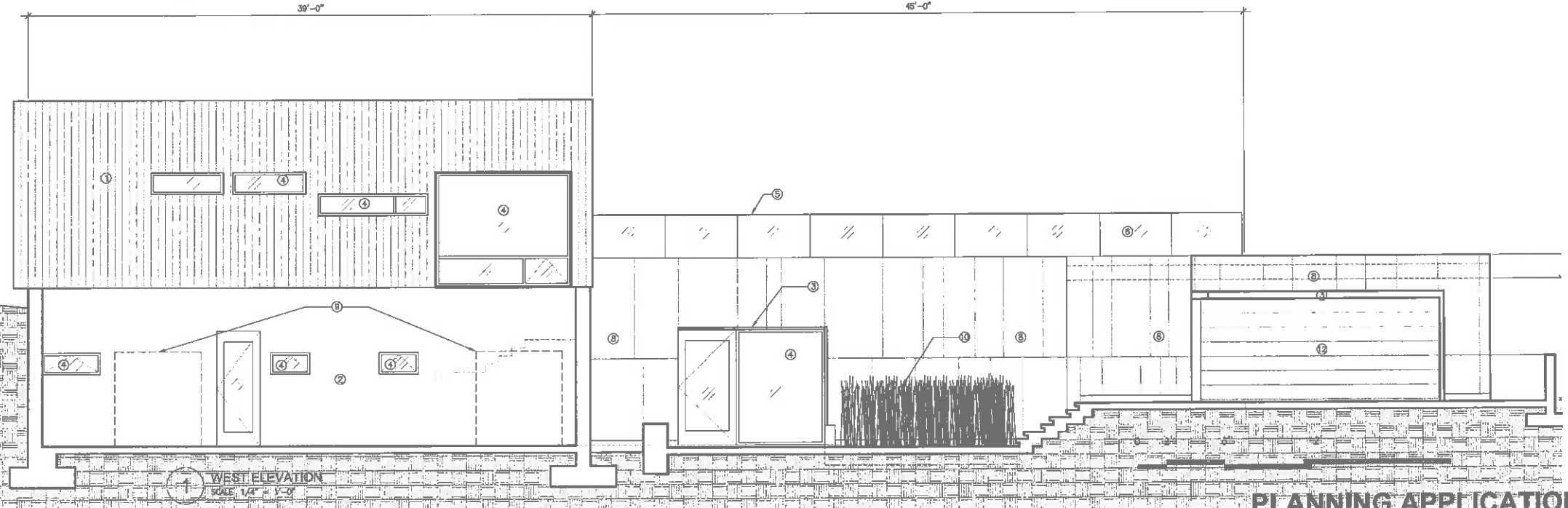
WING LEE ARCHITECTS
 110 J FORTSON AVENUE
 SAN FRANCISCO, CA 94134
 T 415.281.9483
 www.winglee.com

- TOP OF PARAPET
161'-0"
- SECOND LEVEL CEILING
19'-0" (159'-0")
- SECOND LEVEL
10'-0" (150'-0")
- 13'-0"
- GARAGE LEVEL
0'-0" (140'-0")
- ENTRY LEVEL
-3'-0" (137'-0")



2 EAST ELEVATION
 SCALE: 1/4" = 1'-0"

- TOP OF PARAPET
161'-0"
- SECOND LEVEL CEILING
18'-0" (159'-0")
- SECOND LEVEL
10'-0" (150'-0")
- GARAGE LEVEL
0'-0" (140'-0")
- ENTRY LEVEL
-3'-0" (137'-0")



1 WEST ELEVATION
 SCALE: 1/4" = 1'-0"

SELF DECLARATION
 I AM A REGISTERED ARCHITECT
 IN THE STATE OF CALIFORNIA
 AND I HAVE PREPARED THIS
 DRAWING IN ACCORDANCE
 WITH THE CALIFORNIA
 ARCHITECTURAL BOARD
 RULES.

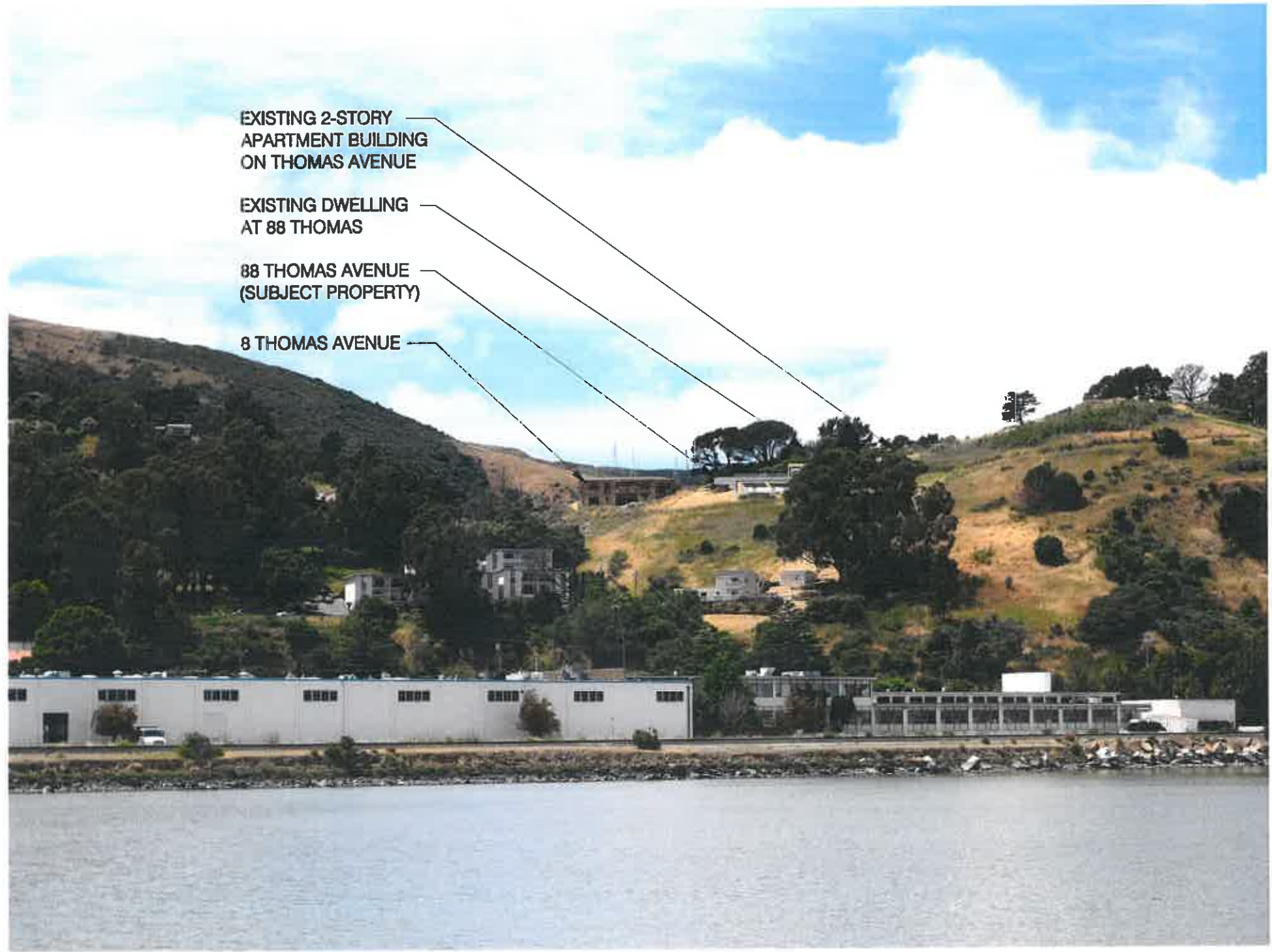


PROJECT
 88 THOMAS AVENUE
 BRISBANE
 CA 94005

TITLE
 PROPOSED
 DWELLING 2
 ELEVATIONS
 (PRIMARY UNIT)

SHEET
A-3.2

PLANNING APPLICATION



EXISTING 2-STORY
APARTMENT BUILDING
ON THOMAS AVENUE

EXISTING DWELLING
AT 88 THOMAS

88 THOMAS AVENUE
(SUBJECT PROPERTY)

8 THOMAS AVENUE

1 VIEW LOOKING WEST FROM HIKING TRAIL
WTS

ARCHITECT



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ISSUE RECORD/MARK

PLANNING SUBMITTAL
05/09/2015

PLANNING RESUBMITTAL
7/28/2016

PLANNING RESUBMITTAL
10/20/16

PLANNING HEARINGS
02/22/2016

STAMP



PROJECT

88 THOMAS AVENUE
BRISBANE
CA 94005

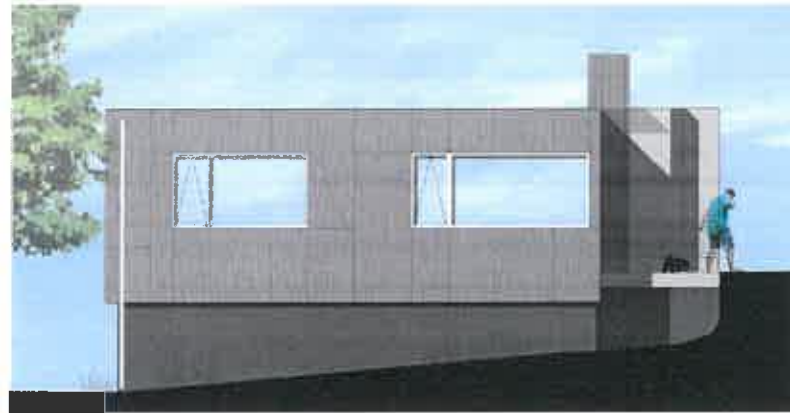
DRAWING TITLE

VIEW FROM HIKING TRAIL

SHEET

A-4.0

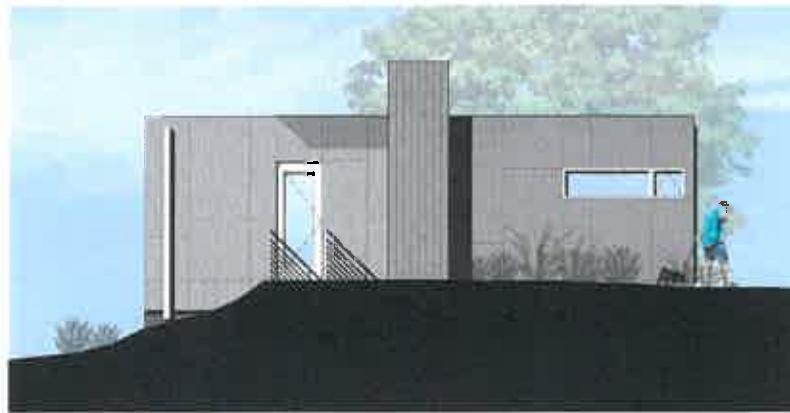
PLANNING APPLICATION



3 EAST ELEVATION
N/S



4 WEST ELEVATION
N/S



1 NORTH ELEVATION
N/S



2 SOUTH ELEVATION
N/S



2 EAST ELEVATION
NTS



1 NORTH ELEVATION
NTS

ARCHITECT



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DATE REVISIONS

PLANNING SUBMITAL	02/01/19
PLANNING REVISIONAL	02/01/19
PLANNING REVISIONAL	02/01/19
PLANNING REVISIONAL	02/01/19

REGISTERED ARCHITECT



PROJECT
88 THOMAS AVENUE
BRISBANE
CA 94006

DRAWN BY
PROPOSED
DWELLING 2
COLOR ELEVATIONS

SHEET
A-9.2

PLANNING APPLICATION



2 WEST ELEVATION
M/S



1 SOUTH ELEVATION
M/S

ARCHITECT



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DATE: 02/08/2018

PLANNING SUBMITTAL
REVISION

PLANNING SUBMITTAL
REVISION

PLANNING SUBMITTAL
REVISION

PLANNING SUBMITTAL
REVISION

EX-118



PROJECT

88 THOMAS AVENUE
BRISBANE
CA 94005

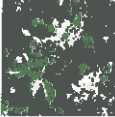




DRAWING TITLE

PROPOSED
DWELLING 2
COLOR ELEVATIONS



SHEET

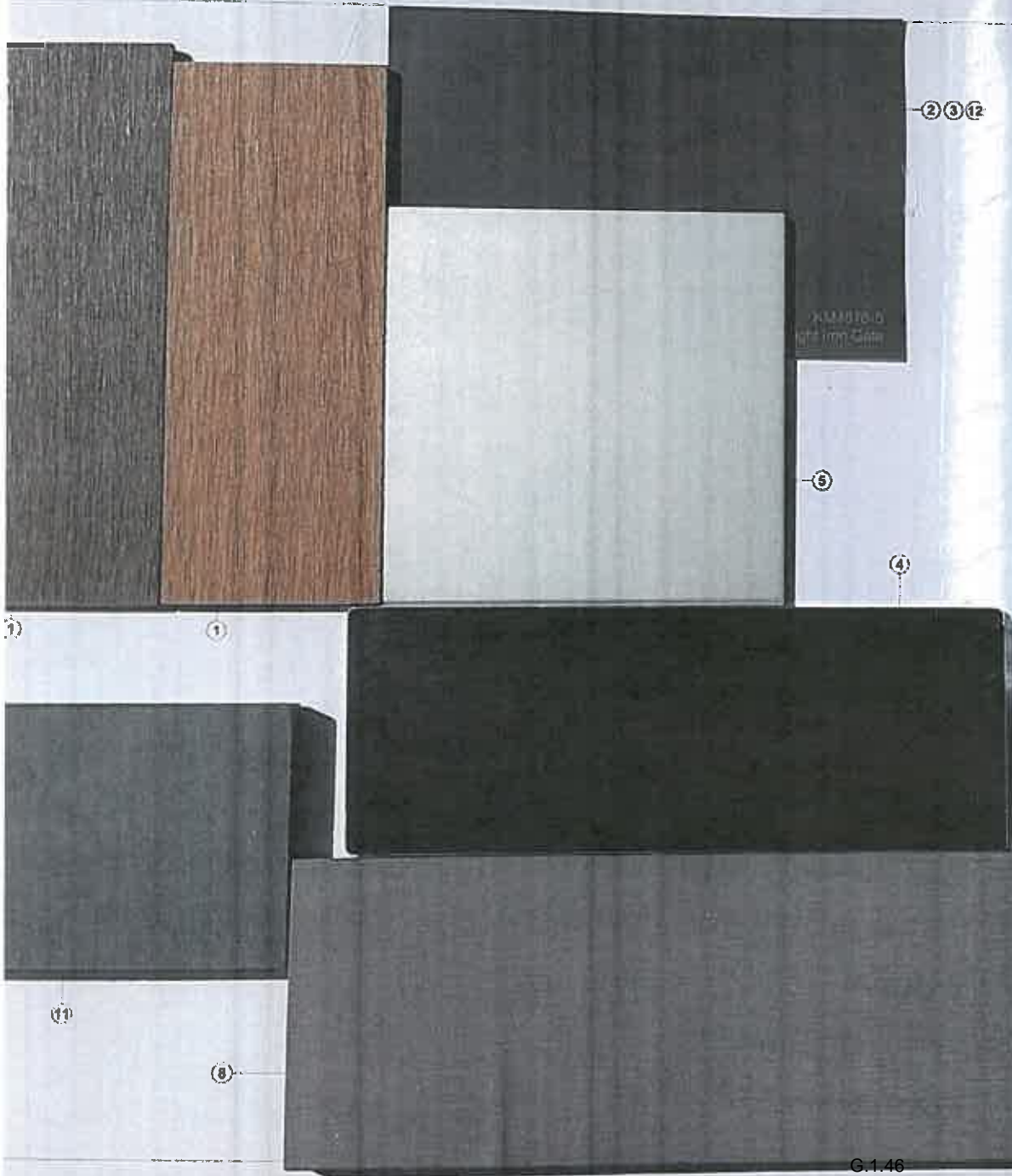
A-9.3

PLANNING APPLICATION

Tree: Accent Deciduous 15-20 ft H 15-20 ft W Sun/Partial		<i>Aesculus californica</i> California Buckeye Spring	This local tree is one of the earliest plants to leaf out in winter, its bright green leaves and light grey branches sharply contrast with the tans and browns of late winter in the bay area. Candles of fragrant white to pinkish flowers appear in late spring. In late summer it drops its leaves exposing an intricate branching habit.
Tree: Accent Evergreen 70 ft H 80 ft W Sun/Partial		<i>Quercus agrifolia</i> Coast Live Oak	Domed top and crooked branches. Dense foliage. Ok salt tolerance for reclaimed water irrigation.
Bamboo Evergreen 15-20 ft H 4-6 ft W Partial		<i>Phyllostachys nigra</i> Black Bamboo	A slower grower, for a bamboo, but still vigorous compared to most plants, with culms to about 1 1/2" across. It is a species that definitely appreciates part sun or shade on the trunks and ground beneath. The leaves tend to bleach in full sunlight if chlorotic from pH problems or lack of iron, and culms are prone to
Shrub: Tall Evergreen 12-15 ft H 12-15 ft W Sun		<i>Arctostaphylos manzanita</i> 'Dr. Hurd' Dr. Hurd Manzanita Spring	A fairly quick-growing, tall manzanita to 12-15 feet tall and about as wide, with an open structure and dark red bark. Large, light green leaves lightly clothe the branches. Clusters of white flowers bloom in late winter. Hardy to about 15-20 degrees F.
Shrub: Tall Evergreen 4-6 ft H W Sun/Shade		<i>Berberis pinnata</i> (Mahonia) California Holly Grape	Growing 5 feet tall and wide, this easy shrub thrives in a wide variety of soils and climates (good for both sun and shade). Polished green leaves on well-branched stems are punctuated by the spectacular shoots of new growth in lacquered shades of orange and red. Blue waxy berries are edible.
Shrub: Tall Evergreen 3-18 ft H W		<i>Ceanothus thyrsiflorus</i> California Lilac Spring	Shrub or small tree. Light to deep blue flowers that have a sweet, honey-like fragrance. This is the only Ceanothus locally native to the Bay Area; it also grows in chaparral and on wooded slopes and in mixed evergreen forests from Santa Barbara coast to S. Oregon.
Shrub: Tall Evergreen 10-15 ft H 10-15 ft W Sun/Partial		<i>Fremontodendron</i> 'Pacific Sunset' Pacific Sunset Flannel Bush Spring-Summer	Flowers are faintly orange, supposedly larger, leaves are slightly more lobed than "California Glory". Fragrance much like that of Rainbow Popsicles, most evident on warm spring days. Masses of open, well displayed, bright yellow to yellow orange flowers to almost 4' across appear in spring and early summer.
Shrub: Tall Evergreen 8-10 ft H 6-10 ft W Sun/Partial		<i>Garrya elliptica</i> Silk Tassel Spring	The Coast Silk Tassel is a large evergreen shrub found along the Coast Ranges of California. It is named for the beautiful cream colored tassels that dangle a foot or more from the ends of the branches in winter, making a spectacular show. The Silk Tassel will get quite large but responds well to pruning.
Shrub: Tall Evergreen 6-10 ft H 4-6 ft W Sun/Partial		<i>Heteromeles arbutifolia</i> Toyon Spring	Dense shrub with thick leathery glossy dark green leaves with bristly pointed teeth. Small white flowers in flatish clusters, June to July. Bright red berries in clusters, June - July.
Shrub: Tall Evergreen 10-15 ft H 6-8 ft W Sun/Shade		<i>Myrica californica</i> Pacific Wax Myrtle Spring	Rapid growth to 10-15' tall with neat, dense glossy dark green leaves. Great evergreen shrub for almost any situation; will take sun or shade, almost any soil, wet or relatively dry conditions. Good screen plant for sun or shade. Deer resistant. No showy flowers, but the tiny, hard fruits attract songbirds.
Shrub: Tall Evergreen 6-10 ft H 10-15 ft W Sun		<i>Rhus integrifolia</i> Lemonade Berry Spring	A native to California this evergreen shrub grows into a rounded, aromatic, evergreen shrub growing to 10 feet tall, sometimes taller, with a stout, short trunk and many spreading branches. This plant is often much shorter when planted on slopes (especially near the coast) and can also be kept smaller by regular pruning.
Shrub: Med Evergreen 4-6 ft H 4-6 ft W Sun/Partial		<i>Arctostaphylos d.</i> 'Howard McMinn' Howard McMinn Manzanita Early Spring	Dense, compact foliage and clusters of tiny, showy white flowers tinged light pink in late winter. Dark brown bark. Easy, dependable. Tolerant of a wide range of soils and climates. It generally lives when planted, and lives quite a long time. Does best in east or north facing location. Prune occasionally for shape or let fill out naturally.
Shrub: Med Evergreen 4-6 ft H 6-8 ft W Sun/Partial		<i>Romneya coulteri</i> Matilija Poppy Spring-Summer	Evergreen to deciduous perennial, growing upright stems to 10' but usually lower, especially if pruned back in winter. Large, relatively smooth grey green leaves are partially divided. Huge, 6-8" wide white flowers have crinkly, crepe paper petals and a globular cluster of deep yellow stamens at the center. Stunning cut flower.

Perennial Evergreen 3 ft H 2 ft W Sun/Partial		<i>Achillea millefolium</i> 'Sonoma Coast' Sonoma White Yarrow Spring-Summer	This selection of our native Yarrow was made on the Sonoma County coast. Deep green foliage and particularly dense flowers set it apart. White flowers attract a large number of butterflies and beneficial insects. Excellent as part of a meadow garden or when its low foliage is allowed to creep between stone paths.
Perennial Evergreen 2 ft H 2 ft W Sun/Shade		<i>Achillea millefolium</i> 'Hoffnung' Yarrow Spring-Summer	Native throughout California except in deserts because it prefers semi-moist soil. Good butterfly plant. Seed eating birds will work the dried flowers. Aromatic, feathery fern-like leaves. Flat topped cluster of small yellow flowers. Good cut flower in a meadow planting or as a lawn substitute where it can be mowed.
Perennial Deciduous < 12 in H < 12 in W Sun/Partial		<i>Arabis blepharophylla</i> Rock Cress	A charming and edible cress with a bright pink bloom to 1 foot high, <i>Arabis blepharophylla</i> grows wild on Twin Peaks and other natural areas in the Bay Area. It is listed as uncommon by the Jepson Manual, mostly due to habitat loss. A suitable candidate for the rock garden or mixed perennial bed.
Perennial Deciduous 1 ft H 1 ft W Sun/Partial		<i>Erigeron glaucus</i> Seaside Daisy	Mounding perennial, to 1' high. Lavender daisy flowers from spring to late summer. Near coast, takes full sun and little water. Grown inland it prefers filtered sun and occasional water. One of the most showy and useful native perennials. This native can be found on coastal bluffs, dunes and beaches from Oregon to San Diego.
Perennial Evergreen 2-3 ft H 2-3 ft W Sun/Partial		<i>Enophytum stachaedifolium</i> Lizard Tail Spring-Summer	Beautiful silvery-blueish-green foliage and a bright yellow bloom in summer, Lizard Tail is a distinguished member of the local Franciscan flora. Excellent wildlife habitat and good for erosion control in disturbed areas. Best in neglected areas of the garden where watering is difficult. Grows into a sprawling perennial/shrub 30" tall
Perennial Deciduous < 12 in H 1 ft W Sun		<i>Eschscholzia californica</i> California Poppy Spring-Summer	California's state flower can be seen along roadsides and in the hills up and down the state. Its golden flowers are borne on drought tolerant, sun loving plants 12" tall. They will bloom from spring through summer.
Perennial Deciduous < 12 in H 1 ft W Sun/Partial		<i>Lupinus albitrans colinus</i> Dwarf Silver Bush Lupine Spring	A most beautiful plant, with silvery leaves, and lavender flowers in spring. Low, mounding perennial to 8" tall and 1' wide. Rock garden plant: needs very good drainage, gravel. Will not survive in heavy soils or clay. It does make a good container plant, however. Native to sunny, dry, gravelly sites in the Bay Area and elsewhere in our
Perennial Deciduous 1 ft H 1-2 ft W Sun/Partial		<i>Lupinus formosus</i> Creeping Lupine Spring	A creeping lupine that grows along in much of the California coastal valleys. Grows in openings between the oaks and chaparral. Foliage is silver gray.
Perennial Deciduous 1-2 ft H 1-2 ft W Sun/Partial		<i>Lupinus varicolor</i> Many-colored Lupine Spring	A true local champion, this easy groundcover for full sun grows wild on the grassy slopes and exposed peaks natural areas of San Francisco. Feathery blue-green foliage and bountiful blue blossoms throughout spring and summer. This bumblebee and butterfly magnet is a specialized host for the endangered Mission Blue.
Perennial Evergreen 2 ft H 2 ft W Sun/Partial		<i>Monardella villosa x purpurea</i> Coyote Mint Summer-Fall	This cross between two of our native Coyote Mints was discovered in the wild in San Luis Obispo County. It shares the attributes of its parents; nicely scented green foliage, and lovely purple flowers that attract butterflies. It will form a nice mound about 2 by 2 feet and should be pruned a little each winter to keep it compact.
Perennial Deciduous < 12 in H < 12 in W Sun/Partial		<i>Sisyrinchium bellum</i> 'Wayne's Dwarf' Blue Eyed Grass Spring-Summer	This form of Blue-eyed Grass has unusually clear, light blue flowers, and narrow, light green leaves. Blooms in Spring, and will continue its show through the summer with irrigation, although summer water is not required. This iris relative will not open its flowers in deep shade so give it full, or part sun. A native of California
Perennial Deciduous < 12 in H < 12 in W Sun		<i>Viola pedunculata</i> Johnny Jump Up	This summer dormant Violet pushes new low growing leaves during the rainy season in foothill grasslands. The unusually large, butter- yellow flowers have beautiful brown-purple nectar guides on the lower petals. Plant this lovely perennial at the front of a dry border.
Succulent Evergreen < 12 in H 1 ft W Sun/Partial		<i>Sedum spathulifolium</i> Stoncrop Summer	A lovely creeping succulent, easy to grow in full sun and drought, native to the Bay Area. The bright yellow blooms in summer attract the rare and endangered San Bruno Elf and numerous other butterflies.

Grass Evergreen 4 ft H 3-4 ft W Sun/Partial		<i>Chondropetalum elephantinum</i> Large Cape Rush	This South African plant forms dense tufted clumps from which arise 4 feet tall dark green unbranched stems. The dark brown sheaths at the joints drop off in summer leaving a dark band at each node. Late in the season the stems arch gracefully from the weight of clusters of small brown flowers at the tips. Drought tolerant.
Grass Evergreen 1-2 ft H 1-2 ft W Sun/Partial		<i>Festuca californica</i> California Fescue	One of California's nicest native grasses. Grows as upright gray-green clump. Leaves are about 1/4" wide. Rather open flower/seed heads follow in summer. Tough, adaptable, drought tolerant. Definitely doesn't like poor drainage, though. Deer resistant.
Grass Evergreen 1 ft H 1 ft W Sun/Partial		<i>Festuca idahoensis</i> 'Tamales Bay' Tamales Bay Idaho Fescue	Selected for its steel blue foliage and low, dense habit. It is an ideal candidate for a border or as a ground cover for a small area. Its dark foliage and compact habit make it appropriate in a meadow garden. This grass is drought tolerant, but will look lush with some summer water.
Grass Evergreen 1-2 ft H 1-2 ft W Sun/Partial		<i>Festuca rubra</i> 'Molate Blue' Creeping Red Fescue	This native bunchgrass is both a clumper and runner - if not mowed it develops a hummock like appearance. A good lawn or meadow grass for sun or part shade, drought tolerant once established. Molate is a seed selection with a gray appearance. Bay Area Native. Moderate growth rate (1-2 ft. per year).
Grass Deciduous 2 ft H 2 ft W Partial		<i>Melica californica</i> California Melic	California Melic is a small, delicate grass often found on slopes under oak trees. Dry shade is its favorite home. Slender green foliage is topped with delicate flowers of a subtle beauty. Goes semi-dormant through summer and fall, and is one of the first plants to green back up with the arrival of fall rains. Lovely with Coastal Wood Fern.
Grass Evergreen 1 ft H 1 ft W Sun/Partial		<i>Nassella pulchra</i> Purple Needle Grass	A medium sized grass that was once a dominant species of California prairies, slender foliage forms a graceful clump 1 foot tall and wide, with beautiful airy flowers and seedheads that reach to 3 feet tall. Rather unremarkable as a lone specimen, this grasses' beauty reveals itself in a mass.
Groundcover Evergreen 1 ft H 6-10 ft W Sun		<i>Arcostaphylos uva-ursi</i> 'Point Reyes' Point Reyes Bearberry Spring	Dense evergreen carpet groundcover, 9-14 in. tall by 10' wide, eventually, mounding slightly after many years. Foliage is dark green and compact. Small pinkish flowers in March-April, not showy. Berries are noticeable and pretty, but not spectacular. Adaptable, one of the best <i>A. uva-ursi</i> varieties for use in inland areas.
Groundcover Evergreen 1-3 in H 2-3 ft W Sun		<i>Dymondia margareta</i> Silver Carpet Spring, Summer	This is a slowly spreading, very flat (just a few inches tall at best) groundcover with green on top of leaves and white underneath. Yellow daisy-like flowers bloom amongst the foliage in summer. Looks best in full sun with regular water, but it is a drought tolerant plant. It is hardy to about 25-30 degrees F.
Groundcover Deciduous < 12 in H W Sun		<i>Heterotheca sessiliflora bolanderi</i> Hairy Goldenaster	An extraordinary groundcover for full sun; lovely silver-grey foliage with velvet texture and cheerful yellow flowers. Completely drought-tolerant and a good butterfly plant. This is a local selection from San Bruno Mountain.
Groundcover Deciduous < 12 in H W Sun		<i>Horkelia californica</i> Horkelia	Good groundcover for neglected sunny rocky spot. Interesting musky fragrance when stepped on.
Vine Deciduous 10-15 ft H 10-15 ft W Sun/Shade		<i>Parthenocissus tricuspidata</i> 'Veitchii' Veitchii Boston Ivy	Valued for its handsome foliage and ability to cover large walls and building facades. 'Veitchii' has glossy leaves to half the size of the species that bear strong serrations. that emerge purplish and mature to green before turning dark purple in the fall.
Annual Deciduous 1 ft H < 12 in W Sun		<i>Castilleja exserta</i> Ow's Clover Spring	Purple owl's clover is an erect annual commonly seen throughout much of California. It grows a foot or more tall. The flowers are in dense terminal spikes, greenish and hairy at the base, greenish-purple in the middle, and velvety rose-purple at the tips. It is partially parasitic and blooms from March to May on grassy slopes.
Annual Deciduous 2 ft H 1-2 ft W Sun		<i>Layia platyglossa</i> 'Tidy Tips' Tidy Tips Spring	Local native wildflower & an important source of nectar for the checkerspot butterfly. Lovely white tipped daisy-like flowers are borne March-June on 2 foot x 18 inch plants in any soil.



- ① NATURAL FIBER POLYMER COMPOSITE PANELS
(Resysia FVG-C29, C-24)
- ② CEMENT STUCCO FINISH (KM4866-5 Wrought Iron Gate)
- ③ PAINTED METAL CANOPY (KM4866-5 Wrought Iron Gate)
- ④ PAINTED ALUMINUM WINDOW AND DOOR SYSTEM
- ⑤ STAINLESS STEEL RAIL CAP
- ⑥ GLASS RAILING SYSTEM / GLASS UNIT
- ⑦ STAIR BEYOND
- ⑧ FIBER CEMENT PANEL (RAINSCREEN SYSTEM)
- ⑨ CISTERN
- ⑩ LANDSCAPE
- ⑪ ARCHITECTURAL CONCRETE FINISH
- ⑫ PAINTED METAL GARAGE DOOR

PLANNING APPLICATION

PROJECT

WING LEE ARCHITECT
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San Francisco CA 94115
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www.winglee.com

REGISTERED ARCHITECT
WING LEE
C 28929
EXP. FEB 28, 2017
STATE OF CALIFORNIA

REVISION RECORD / DATE

NO. DESCRIPTION RESUBMITTAL DATE

1 9/8/2016

PROJECT

88 THOMAS AV
BRIS
CA

SHEET

M

ATTACHMENT F

PHOTO STUDY OF STORY POLES

As indicated in the body of the agenda report, the applicant has provided story poles to depict the locations and final elevations of the corners of the proposed single family residence. The finding for ridgeline development indicates that, "The planning commission shall find that the building's placement, height, bulk and landscaping will preserve those public views of the San Bruno Mountain State and County Park as seen from the community park and from the Bay Trail along the Brisbane Lagoon and Sierra Point shorelines that are found to be of community-wide value."

With this in mind staff took photos along the Bay Trail at the Lagoon and Sierra Point at 300 ft intervals to provide a sampling of images to aid the Commission in its review of the proposal relative to this finding.

Note that using either the naked eye or the staff photos with the lowest level of zoom (14 mm lens on a micro four-thirds format camera), it is difficult to locate the story poles at such distances as the Bay Trail, so photos have been zoomed using a 150 mm lens with the same camera, that's a 300 mm lens equivalent with a 35 millimeter camera. Given the distances and the limitations of the human eye on one hand and the limitations of the camera lens on the other, staff suggests that the commissioners visit the bay trail individually, with the photos in hand as a resource, but to make your own observations regarding how the proposal relates to the required finding.

Staff's photo locations have been spray-painted in white along the Bay Trail, for reference (for example a mark of 12 equals the 1,200 foot reference, from a starting point, on either the Lagoon side or the Sierra Point side). The starting point (0 ft) being approximately where the new home would first become visible on the Lagoon side and the starting point being near the fishing pier on the Sierra Point side. In a couple cases, vegetation in the foreground blocked the view at these 300 ft marks and, in such cases, the photos were then taken as close as possible to those locations to capture the view of the site. On the Sierra Point side, the numbers are marked off the edge of the pavement to avoid degrading the appearance of the walking trail.

Attachment F

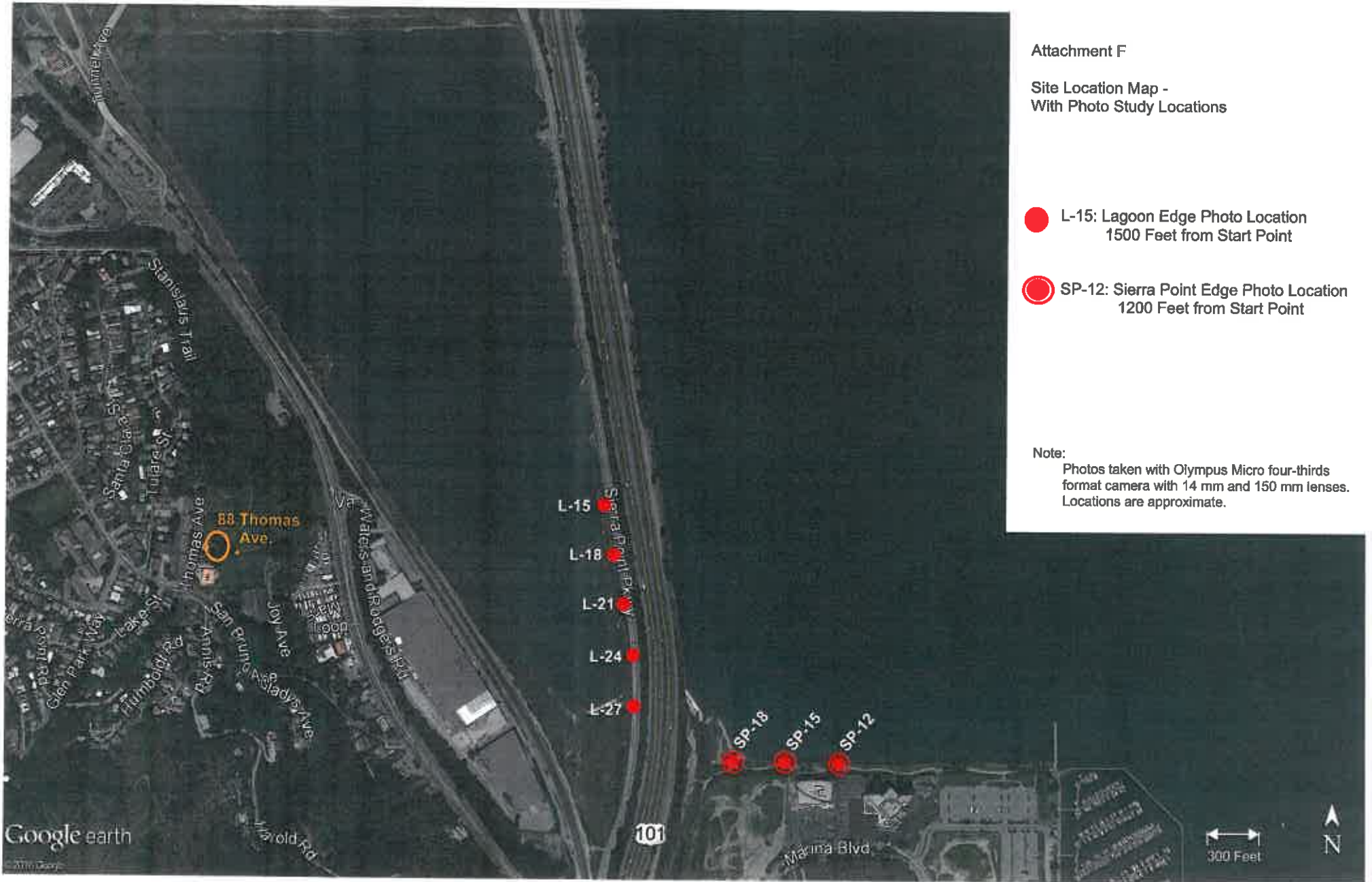
Site Location Map -
With Photo Study Locations

● L-15: Lagoon Edge Photo Location
1500 Feet from Start Point

○ SP-12: Sierra Point Edge Photo Location
1200 Feet from Start Point

Note:

Photos taken with Olympus Micro four-thirds
format camera with 14 mm and 150 mm lenses.
Locations are approximate.



L-1500

14 mm / micro 4/3



L - 1500

Zoom : 150 mm



Proposed SFR

Existing Home



L-1800

14 mm / Micro 4/3



Proposed SFR



L-2100

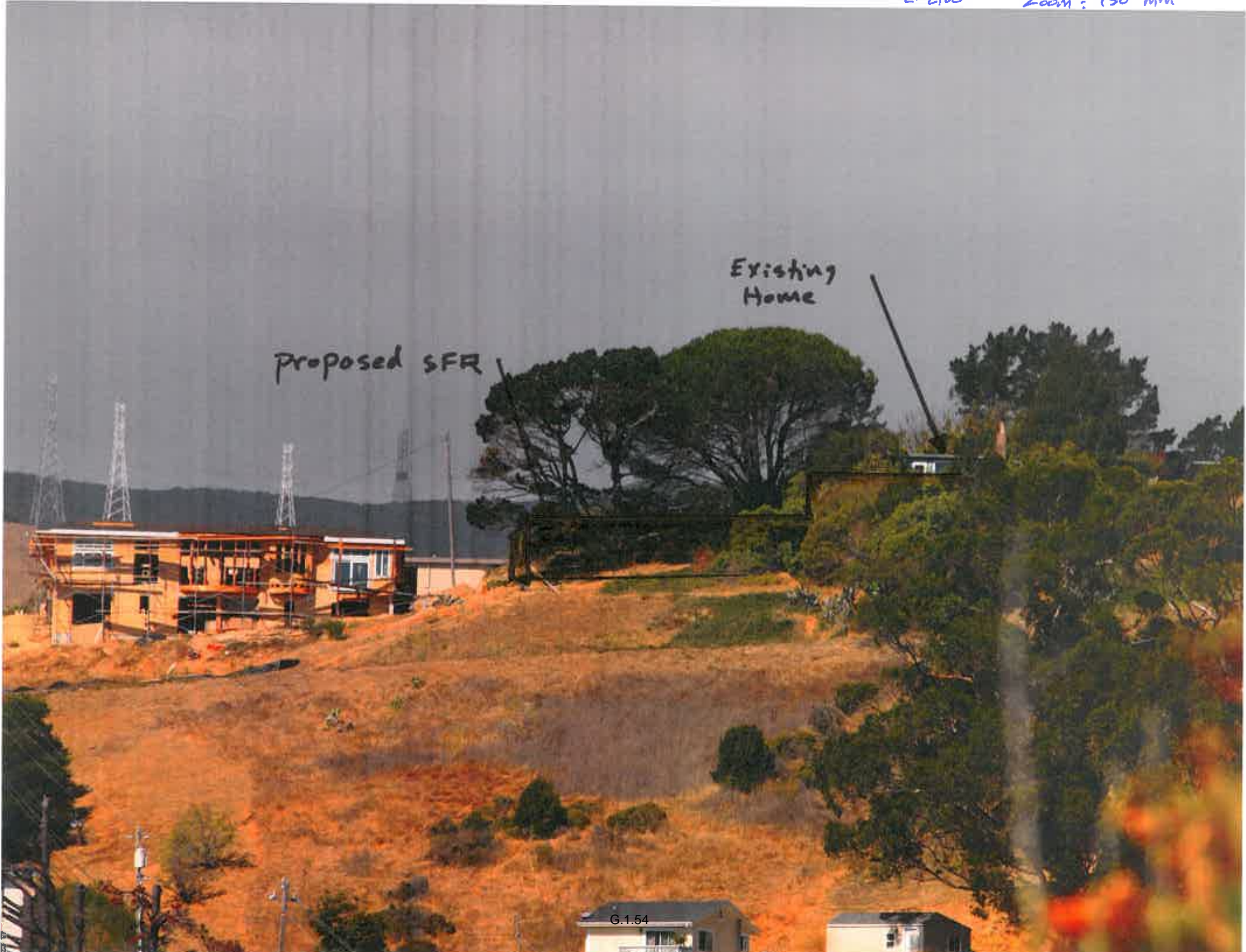
14 mm Micro 4/3



G.1.53

Proposed SFR

Existing Home



L-2400

14 mm / Micro 4/3



G.1.55

Proposed SFR

Existing Home

Apartment Bldg.



L-2700 14mm /micro 4/3



L-2700

Zoom: 150 mm

Proposed SFR

Existing Home

Apartment Bldg.



SP-1200 14mm / Micro 4/3



SP = 1200

Zoom: 150 mm



Proposed
SFR

Apartment
Bldg.

Existing
Home

Apartment
Bldg.

SP 1500

14 mm / ANICO 4/3



G.1.61



Proposed
SFR

Apartment
Bldg.

Existing
Home

Apartment Bldg.

SP - 1800

14 mm / Micro 4/3



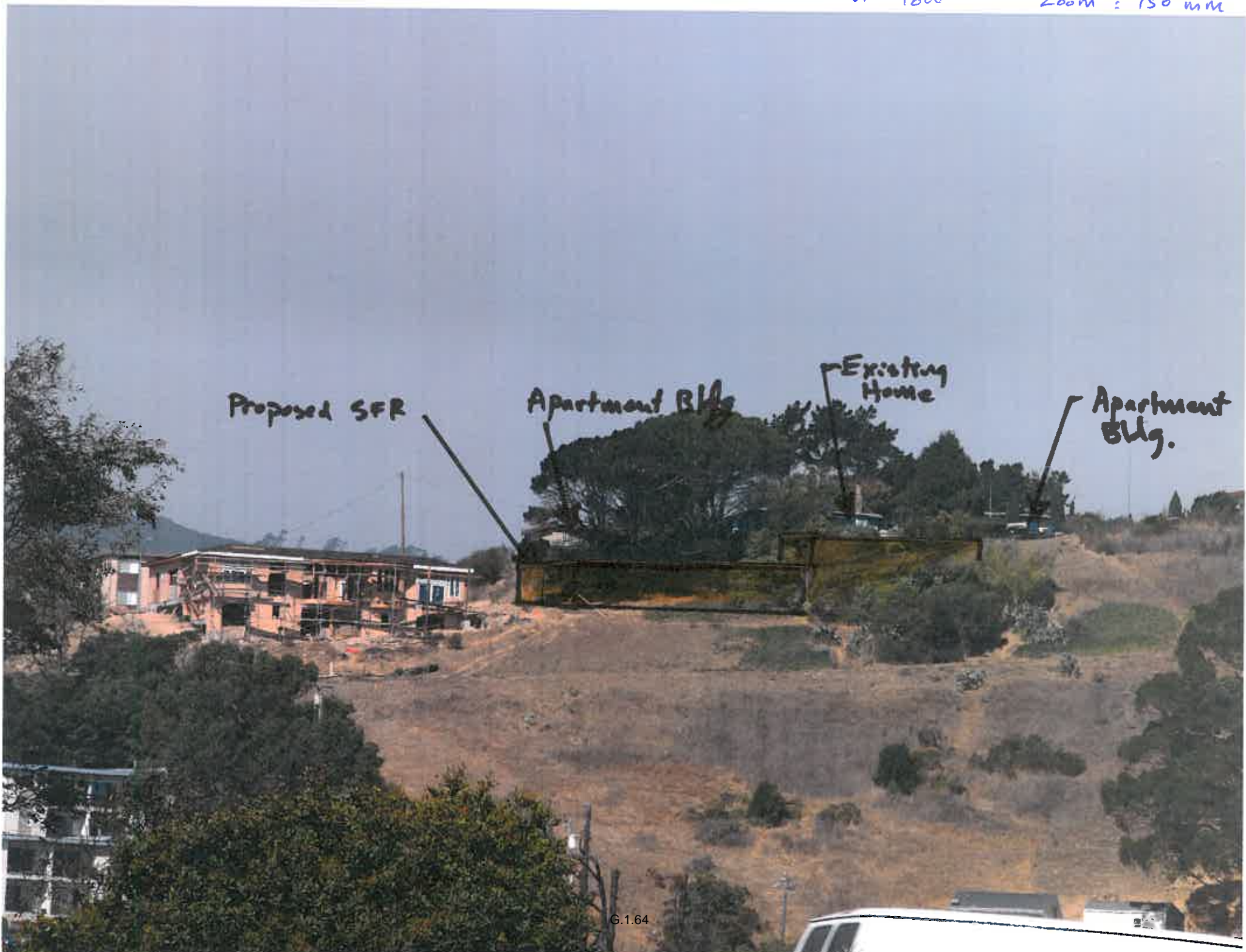
G.1.63

Proposed SFR

Apartment Bldg

Existing Home

Apartment Bldg.



ATTACHMENT G

Review of Design Permit Findings

The following findings are taken in order from BMC Sections 17.12.040.L.2 and 17.42.040. Note that some of the findings are intended for commercial development and are so noted:

- A. ***Ridgeline Development:*** *“The planning commission shall find that the building's placement, height, bulk and landscaping will preserve those public views of the San Bruno Mountain State and County Park as seen from the community park and from the Bay Trail along the Brisbane Lagoon and Sierra Point shorelines that are found to be of community-wide value.”*

The proposal meets this finding. The applicant has included a number of drawings which depict the design along with a photo-simulation, for reference. The applicant also placed story poles at the building corners for the single family residence, to represent the height and location at each of those corners.

As discussed in the body of this agenda report, it's suggested that the commissioners view the site from the Bay Trail for first-hand experience.

Given the long distances, the mix of existing development, vegetation and the relatively low profile of the proposed home on the lot, the view impacts to the State and County Park beyond the site would not be considered significant and the public views are substantially preserved or unaffected.

See the body of the report for further discussion of the Ridgeline finding.

- B. ***Scale & Form:*** *The proposal's scale, form and proportion, are harmonious, and the materials and colors used complement the project.*

The proposal meets this finding. The proposal has a strong modern design. The buildings' flat roofs and cantilevered first floors are strong elements in the overall modern aesthetic of both the new single family residence and the secondary dwelling unit, while at the same time the flat roof serves to reduce the mass of the structures and reduce view impacts, as viewed from off-site. The clean lines of the composite panels that appear wood-like and the fiber cement and stucco cement finishes complement the design. The expansive lightly tinted windows will afford passive solar warming while providing a feeling of openness to the buildings, especially along the most visible east side of the single family home. The scale and proportion of one to two stories make for a harmonious arrangement on the site, both functionally and aesthetically.

- C. ***Compatibility with Adjacent Development:*** *“The orientation and location of buildings, structures, open spaces and other features integrate well with each other and maintain a compatible relationship to adjacent development.”*

The proposal meets this finding. The neighborhood includes a single family home adjacent to the site under construction on the south side, at 8 Thomas Avenue. The two homes would be similarly oriented facing the San Francisco Bay with their garages and sides of the single family

homes oriented closest to each other, with approximately a 25 ft separation, given the setback requirements for each. A condition of approval is included to have 88 Thomas provide landscape screening along the edge of the parking area, which will be nearest the side lot line and the retaining walls under construction for 8 Thomas Ave. This would be in addition to the landscaping which is proposed along the edge of the garage and the end of the home, to screen those areas. Four apartment buildings are located across the street on Thomas Avenue and the proposal is not seen as having a negative impact on these properties. Vacant parcels are located immediately to the north upslope and east (downslope).

While the topography rises up from 8 Thomas to 88 Thomas Ave, the proposal for 88 Thomas would keep the first story segment on the 8 Thomas side of the site, so that the rooflines for that segment would closely match each other and would not loom over the neighboring site.

Open spaces would be maintained at the front of the site so that views from Thomas Avenue to the new home would not be significant.

88 Thomas Avenue has a modern architectural style, while 8 Thomas is a ranch style. The two designs would continue the diversity of styles in Brisbane.

Water conserving landscaping would be provided throughout the site, as shown by the conceptual landscape plan, and would soften the overall appearance of the building and the plantings will be required to be native within the habitat corridors. A planted paver system would be used for the driveway to minimize stormwater runoff and soften views of the driveway.

D. Potential Impacts on Adjacent Land Uses: “Proposed buildings and structures are designed and located to mitigate potential impacts to adjacent land uses.”

The proposal meets this finding. As indicated in the discussion on the previous finding the proposed building is appropriately situated on the site and the combination of the proposed setbacks and height being under the limit will maintain light and air to the adjacent land uses. The condition of approval for landscaping would serve to soften views between the two sites, of 88 Thomas and 8 Thomas Ave. No potential negative impacts are anticipated on the apartment building occupants across the street along Thomas Avenue.

E. Natural Heating & Cooling: “The project design takes advantage of natural heating and cooling opportunities through building placement, landscaping and building design to the extent practicable, given site constraints, to promote sustainable development and to address long term affordability.”

The proposal meets this finding. The design includes appropriate placement of windows primarily on the east side to allow for morning light and warming in Brisbane’s moderate to cool climate. Shade trees, Coast Live Oak and California Buckeye, will be included to help moderate afternoon heating on the west side of the building.

F. Hillside Development: “For hillside development, the proposal respects the topography of the site and is designed to minimize its visual impact. Significant public views of San

Francisco Bay, the Brisbane Lagoon and San Bruno Mountain State and County Park are preserved.”

The proposal meets this finding. The ridgeline runs through the front of the lot, close to Thomas Ave and the topography drops down fairly steeply with a slope of approximately 29 percent slop across the back half of the lot. The existing single family home is located toward the front of the lot and it would be modified to reduce its height and floor area and to match the design of the new single family home. The top of the roofline would be lowered in elevation by approximately 1.75 feet. The various trees located on the site make it difficult to see the existing home from off-site locations, including the Bay Trail. The combination of the rise in topography at the front of the site and dropping back at the rear, combined with the vegetation will make it difficult to see the new single family home from the Thomas Avenue side.

The new single family home would include 2 stories on the north side of the lot and step down to 1 story on the south side closet to the saddle of Thomas ridge. As the maximum height is defined in the municipal code, 5 feet from the downslope edge of the building, the structure would be approximately 27.5 ft. The maximum allowable height in the Brisbane Acres is 35 ft, so the proposal, at its highest, is approximately 7.5 ft below the allowed maximum and approximately 17.5 feet below the maximum for the 1 story portion of the, with a height of 17.5 to the parapet edge and a height of approximately 20.5 to the top of the glass guardrail for a roof deck on top of that first level. With regards to the design permit findings, the proposed single family home would fit well with the topography of the site to minimize its visual impact, being set in the lower area of the lot while maintaining the required 20 ft rear setback and nearest the saddle of the ridgeline it steps down to 1 story.

See also the discussion in the body of the report.

G. *Minimizing Traffic Effects:* “The site plan minimizes the effects of traffic on abutting streets through careful layout of the site with respect to location, dimensions of vehicular and pedestrian entrances and exit drives, and through the provision of adequate off-street parking. There is an adequate circulation pattern within the boundaries of the development. Parking facilities are adequately surfaced, landscaped and lit.”

The proposal meets this finding. There are two existing driveways accessed from Thomas Avenue. These driveways and the parking would be improved to comply with current code requirements. More than the required parking would be provided on-site, with 10 spaces to be provided versus the required minimum of 6 spaces. There is adequate turnaround space on each of the two driveways and the project would utilized and expand upon the utility of the existing driveways at the site.

H. *Alternative Travel:* The proposal encourages alternatives to travel by automobile where appropriate, through the provision of facilities for pedestrians and bicycles, public transit stops and access to other means of transportation.

This finding is not applicable to a single family residence.

I. Appropriate Landscaping: “The site provides open areas and landscaping to complement the buildings and structures. Landscaping is also used to separate and screen service and storage areas, break up expanses of paved area and define areas for usability and privacy. Landscaping is generally water conserving and is appropriate to the location. Attention is given to habitat protection and wildland fire hazard as appropriate.”

The proposal meets this finding. The proposed conceptual landscaping plan complements the building. The landscaping is proposed using water conserving plants and low water use, drip irrigation. The proposed landscape also includes a planted paver system in the main driveway area. A number of the existing trees and shrubs will be removed and replaced with new plantings, which are primarily California native plants of a scale that will fit with the site, to provide screening from off-site views and to encourage outdoor living for the occupants.

The landscaping will include an area dedicated to butterfly habitat plant species.

J. Noise Measures: “The proposal takes reasonable measures to protect against external and internal noise.”

The proposal will meet this finding. Given the site’s potential for noise exposure from U.S. 101 and Bayshore Boulevard a mitigation measure has been included with the mitigated negative declaration to require that an acoustical analysis be conducted showing that the proposed design will limit exterior noise to 45 decibels in any habitable room. There are no other anticipated noise concerns.

K. Avoiding Glare: “Consideration has been given to avoiding off-site glare from lighting and reflective building materials.”

The proposal meets this finding. A mitigation measure has been included with the mitigated negative declaration to require that that low level exterior lighting be directed away from adjacent properties and not upward into the night sky so as not to result in off-site impacts upon neighboring properties. Also the measure calls for exclusion of highly-reflective glass and other exterior building materials.

L. Screening Utilities: “Attention is given to the screening of utility structures, mechanical equipment, trash containers and rooftop equipment.”

The proposal meets this finding. Utilities will be required to be undergrounded, per the conditions of approval. PG&E meters and electrical boxes will be screened from view by landscaping. Trash and recycling has been proposed to be stored inside the garage, however a condition of approval is included for separate storage of trash and recycling for the secondary dwelling unit and that it be enclosed and screened from off-site views.

M. Signage: Signage is appropriate in location, scale, type and color, and is effective in enhancing the design concept of the site.

This finding is not applicable to a residential development.

N. Employees: Provisions have been made to meet the needs of employees for outdoor space.

This finding is not applicable to a residential development.